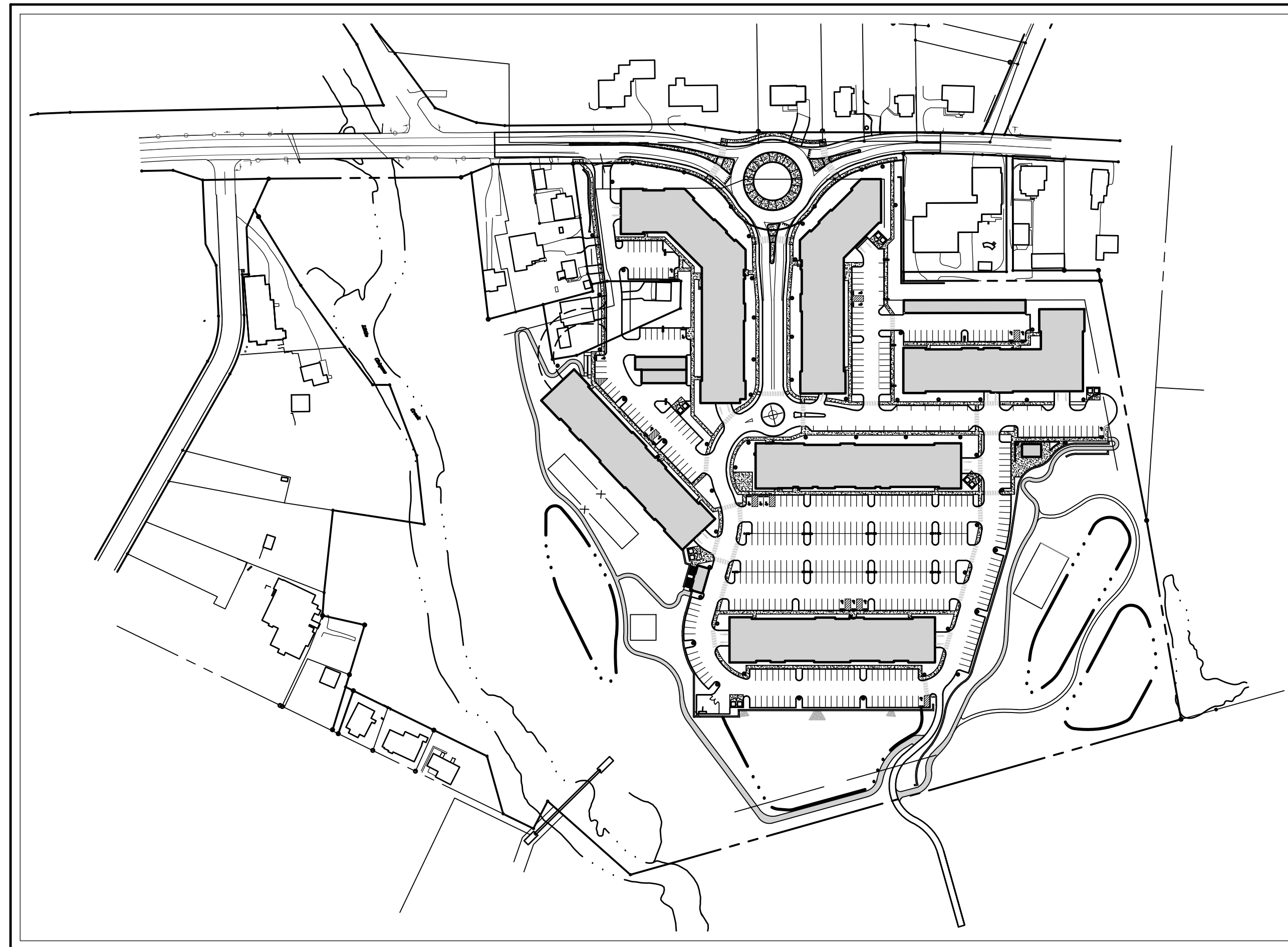


CONDITIONAL USE PLAN

FOR CHIQUES CROSSING RAPHO TOWNSHIP - LANCASTER COUNTY - PENNSYLVANIA



SITE DATA

EXISTING GROSS PROPERTY AREA:	25.28 ACRES
RAPHO TOWNSHIP AREA:	22.92 ACRES
MOUNT JOY BOROUGH AREA:	1.44 ACRES
MOUNT JOY TOWNSHIP AREA:	0.81 ACRES
PROPOSED RIGHT-OF-WAY AREA:	0.50 ACRES
PROPOSED NET PROPERTY AREA:	24.18 ACRES (EXCLUDES R.O.W)
PROPOSED BUILDABLE AREA:	12.14 ACRES (NET)
PROPOSED OPEN SPACE AREA:	12.64 ACRES (50.0% GROSS) (SEE OVERALL LAYOUT PLAN)
PROPOSED IMPERVIOUS LOT COVERAGE:	
BUILDABLE AREA:	74.4% (9.03 ACRES)
OPEN SPACE AREA:	3.9% (0.41 ACRES)
PROPOSED UNIT TYPE:	MULTI-FAMILY RESIDENTIAL
NUMBER OF UNITS:	318
GROSS DENSITY:	14.45 DWELLING UNITS/ACRE

PARKING DATA

SECTION 520.6	
PROPOSED USE:	MULTI-FAMILY DWELLING
REQUIRED SPACES/UNIT:	2.2 SPACES / DU
NUMBER OF UNITS:	318 UNITS
SPACES REQUIRED:	832 SPACES
SPACES PROVIDED:	
APARTMENT GARAGE:	343 SPACES
DETACHED GARAGE:	38 SPACES
PARALLEL:	22 SPACES
PERPENDICULAR:	431 SPACES
TOTAL SPACES PROVIDED:	834 SPACES (OR 2.2 SPACES / DU)

ZONING DATA

ZONING DISTRICT: RESIDENTIAL (R-1)		
AREA & YARD REQUIREMENTS:		
MINIMUM BUILDING SETBACK:	REQUIRED	PROPOSED
FRONT:	40 FEET	40 FEET FROM EX. ROW
SIDE:	30 FEET	21 FEET*
REAR:	50 FEET	140 FEET
* CURRENTLY NOT COMPLIANT AT ONE LOCATION BUT WILL BE IN THE FUTURE WITH RIGHT OF FIRST REFUSAL ON KELLER PROPERTY.		
ZONING DISTRICT: OPEN SPACE DESIGN OVERLAY (OSDO)		
AREA & YARD REQUIREMENTS:		
MINIMUM OPEN SPACE:	REQUIRED	PROPOSED
MAXIMUM DENSITY:	15 DU / ACRE	14.45 DU / ACRE
MAXIMUM BUILDING HEIGHT:	45 FEET	53 FEET
PRINCIPAL BUILDING FROM ROAD CURB:	15 FEET TO 20 FEET	10 FEET TO 25 FEET
MAXIMUM BUILDING DIMENSIONS:	160' WIDE x 75' DEEP	334' WIDE x 11' DEEP
MAXIMUM LOT COVERAGE:	70%	74.4% (BUILDABLE AREA)
ZONING DISTRICT: FLOODPLAIN OVERLAY		
THIS ZONE APPLIES TO THE 100-YEAR FLOODPLAIN BOUNDARY ASSOCIATED WITH LITTLE CHIQUES CREEK.		
PROPOSED PERMITTED USE:	OPEN SPACE, PARK, TRAIL, PLAY AREA, RIPARIAN STREAM BUFFER, BMP'S	
PROPOSED SPECIAL EXCEPTION USE:	SANITARY SEWER FORCEMAIN	

OFF-STREET LOADING DATA

SECTION 519.6	
PROPOSED USE:	MULTI-FAMILY DWELLING
REQUIRED LOADING SPACES:	2 TOTAL SPACES
	1 SPACE / 100 TO 300 UNITS
	1 SPACE / EACH ADDITIONAL 200 UNITS
LOADING SPACES PROVIDED:	2

UTILITY LISTING

CONTACT RA ONE CALL AT 1-800-541-7778 FOR INDIVIDUAL UTILITY TELEPHONE NUMBERS

AT&T
1100 3RD AVENUE
ALTOONA, PA 16602
PAT SUTTON
P54364@ATT.COM
814-321-6470

COLUMBIA GAS TRANSMISSION ELLWOOD
1410 FLOORHOUSE ROAD
DORNINGSTON, PA 14235
TYLER CALDWELL
TYLER_CALDWELL@TCENERGY.COM
610-458-0183

METROPOLITAN EDISON CO./FIRST ENERGY
21 S. MAIN STREET
AKRON, OH 44308
TICKET SCREENING PERSONNEL
TICKET_SCREENING@FIRSTENERGYCORP.COM
330-384-3824

MOUNT JOY BOROUGH
MOUNT JOY BOROUGH AUTHORITY
P.O. BOX 25
MOUNT JOY, PA 17552
JOE ARDINI
JOEMOUNTJOYPA.ORG
717-653-5438

PPL ELECTRIC UTILITIES CORPORATION
434 SUSQUEHANNA TRAIL
NORTHUMBERLAND, PA 17857
DOUG HAUBT
DLHAUBT@PPLNEB.COM
610-247-2461

RAPHO TOWNSHIP
471 N. COLEBROOK ROAD
MANHEIM, PA 17545
JOHN HALDENAN
ROADMASTER@RAPHOTOWNSHIP.COM
717-665-3827

USI UTILITIES INC.
1301 AIP DRIVE
MIDDLETOWN, PA 17057
STEPHEN BATEMAN
SBATEMAN@USI.COM
610-807-3174

VERIZON BUSINESS FORMERLY MCI
400 INTERNATIONAL PARKWAY
RICHARDSON, TX 75081
DEAN BOYERS
INVESTIGATIONS@VERIZON.COM
461-886-4238

SOURCE OF TITLES

ALL INVOLVED PARCELS OWNED BY:
VISTABLOCK CHIQUES CROSSING, LLC (DEVELOPER)
(SEE LOT ADD-ON PLAN FOR PARCEL LOCATIONS)

PARCEL A
TAX ACCOUNT # 540-41344-0-0000
DEED INST. # 6753473
SUBD. PLAN BOOK 2016-0111-J

PARCEL B
TAX ACCOUNT # 540-78268-0-0000
DEED INST. # 6753472

PARCEL C
TAX ACCOUNT # 540-80006-0-0000
DEED INST. # 6753473

PARCEL D
TAX ACCOUNT # 540-83424-0-0000
DEED INST. # 6753473

PARCEL E
TAX ACCOUNT # 540-40878-0-0000
DEED INST. # 6753472

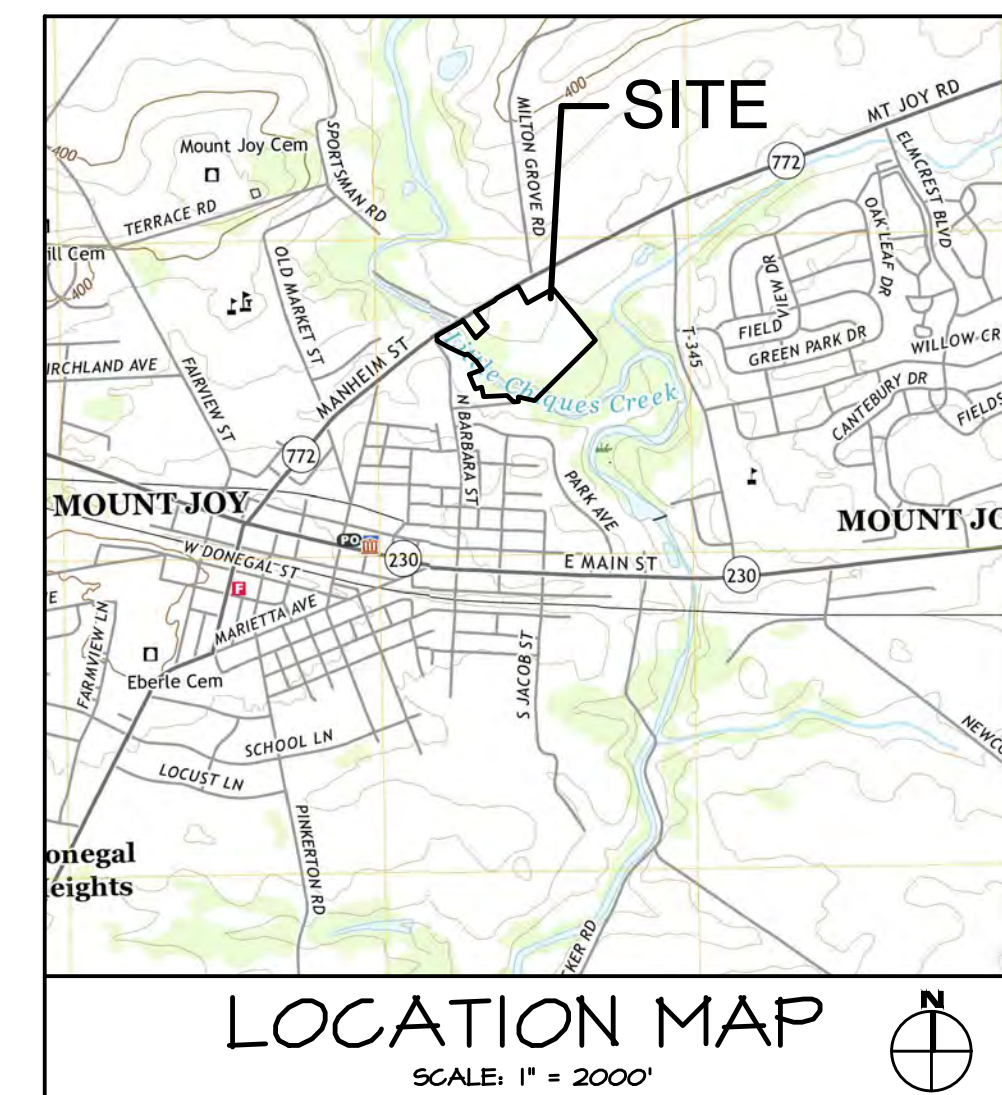
PARCEL F
TAX ACCOUNT # 540-41017-0-0000
DEED INST. # 6753472

PARCEL G
TAX ACCOUNT # 540-00540-0-0000
DEED INST. # 6753472

PARCEL H
TAX ACCOUNT # 540-06878-0-0000
DEED INST. # 6753472

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OWNER

VISTABLOCK CHIQUES CROSSING, LLC
ATTN: BRANDON CONRAD, CEO
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

PROJECT SITE ADDRESS

3724 MOUNT JOY ROAD
MOUNT JOY, PA 17552

SURVEYOR OF RECORD

WEBER SURVEYORS
431 STONY BATTERY ROAD
LANDISVILLE, PA 17538
717-848-4466

REVISIONS PER:	DATE:	BY:

EVA
group, inc.
ENGINEERS & LANDSCAPE ARCHITECTS

743 S. BROAD ST.
LITITZ, PA 17543
(717) 626-7271
elagroup.com

REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE0844
PENNSYLVANIA

CONDITIONAL USE PLAN
SUBJECT:
COVER SHEET
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	AS SHOWN

DRAWING NO.
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PLAN NOTES

GENERAL NOTES:

- 1. NO ONE SHALL SCALE FROM THESE PLANS TO CONSTRUCT OR LAYOUT ANY PART OF THIS PROJECT.
2. EIA GROUP, INC. MAKES NO REPRESENTATIONS AS TO THE SUBSURFACE CONDITIONS OF THE PROJECT SITE INCLUDING DEPTH OF BEDROCK, GEOLOGICAL CONDITIONS, SOIL STABILITY, ETC.
3. A HIGHWAY OCCUPANCY PERMIT IS REQUIRED FOR THIS PROJECT PURSUANT TO SECTION 420 OF THE ACT OF JUNE 1, 1945 (P.L. 1242, NO. 428), KNOWN AS THE "STATE HIGHWAY LAM", BEFORE ACCESS TO A STATE HIGHWAY IS PERMITTED. ACCESS TO THE STATE HIGHWAY SHALL ONLY BE AS AUTHORIZED BY THE HIGHWAY OCCUPANCY PERMIT, AND THE MUNICIPALITY APPROVAL OF THIS PLAN IN NO WAY IMPLIES THAT SUCH PERMIT CAN BE ACQUIRED.
4. THE PROPERTY OWNER IS RESPONSIBLE TO KEEP ALL TREES TRIMMED IN ORDER TO OBTAIN/MAINTAIN THE PENNDOT DESIRABLE SAFE STOPPING SIGHT DISTANCES / CLEAR SIGHT TRIANGLES.
5. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
6. STORMWATER MANAGEMENT EASEMENTS SHALL BE PART OF THE PROJECT SITE WITHIN THE LIMIT OF DISTURBANCE (LOD) AS SHOWN ON THESE PLANS. THE EASEMENTS SHALL ALLOW THE IMPROVEMENT OF STORMWATER FACILITIES BY THE OWNER/DEVELOPER AS WELL AS ACCESS FOR THE INSPECTION OF SUCH FACILITIES BY THE MUNICIPALITY.
7. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR AND BEAR THE SOLE COST OF THE INSTALLATION OF ALL IMPROVEMENTS SHOWN ON THIS PLAN. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPAL ZONING ORDINANCE, SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND STORM WATER MANAGEMENT ORDINANCE.
8. THE OWNER/DEVELOPER SHALL OBTAIN ALL APPROVALS AS NECESSARY FROM THE APPLICABLE BUILDING CODE AGENCY PRIOR TO CONSTRUCTION OF ANY BUILDINGS OR STRUCTURES.
9. ALL SITE CONSTRUCTION SHALL CONFORM TO THE PA BUILDING CODE & THE AMERICANS WITH DISABILITIES ACT (ADA).
10. DURING CONSTRUCTION OR UPON COMPLETION, THE MUNICIPALITY SHALL HAVE THE RIGHT, BUT NOT THE DUTY, OF ACCESS AT ANY TIME, TO INSPECT AND MAINTAIN THE FACILITY AT THE PROPERTY OWNER'S EXPENSE IF THE OWNER SHOULD FAIL TO PROPERLY CONSTRUCT OR MAINTAIN THE FACILITY.
11. ANY REVISIONS TO THESE PLANS AFTER THE DATE OF THE LATEST REVISION SHALL NOT BE THE RESPONSIBILITY OF EIA GROUP, INC. SUBSTITUTIONS FOR ANY MATERIALS, OR CHANGES TO THE PLAN, REQUIRES APPROVAL OF EIA GROUP, INC., THE MUNICIPALITY, OR THE AUTHORITY HAVING JURISDICTION (AS APPLICABLE).

SURVEYING AND BASEMAPPING

- 1. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH. THIS SURVEY DOES NOT GUARANTEE OR IMPLY THAT THE PROPERTY IS NOT AFFECTED BY RIGHTS OF WAY, EASEMENTS OR OTHER RESTRICTIONS WHICH MAY BE DISCOVERED BY A COMPLETE TITLE SEARCH.
2. ALL UNDERGROUND UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE SHOWN FROM FIELD LOCATION, PLANS OF RECORD AND PLANS PROVIDED BY THE UTILITY COMPANIES.
3. COORDINATE SYSTEM: PA STATE PLANE, SOUTH ZONE - 3702.
4. BENCHMARK IS A PENN DOT DISK SET IN THE SOUTHWEST CORNER OF THE WINGWALL OF A BRIDGE ON MOUNT JOY ROAD (S.R. 772) CROSSING OVER LITTLE CHICKES CREEK. ELEVATION 329.04 NAVD83 DATUM.
5. A NEW PA ONE CALL MUST BE MADE PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
6. WETLANDS DEPICTED HERE IDENTIFIED AND CONFIRMED BY VORTEX ENVIRONMENTAL, INC. ON AUG. 4, 2022 AND A SUBSEQUENT WETLAND REPORT IS AVAILABLE.
7. DETAILED 100 YEAR FLOODPLAIN DETERMINED BY GERALD R. MCCLUNE, P.E. AS DOCUMENTED IN A 10/27/2017 FLOODPLAIN STUDY.
8. LOT MONUMENTATION SHALL BE COMPLETED POST SITE CONSTRUCTION AND PRIOR TO BUILDING OCCUPANCY.
9. AS-BUILT SURVEY PLAN AND COMPUTATIONS AS REQUIRED BY THE TOWNSHIP SHALL BE PROVIDED AT THE COMPLETION OF SITE IMPROVEMENTS.

DEMOLITION NOTES

- 1. LIMIT OF PAVING, CURB, SIDEWALK, UTILITIES AND OTHER IMPROVEMENTS TO BE REMOVED, OR PARTIALLY REMOVED, IS APPROXIMATE. DEMOLITION OF EXISTING IMPROVEMENTS IS AS REQUIRED TO COMPLETE THE WORK REQUIRED FOR CONSTRUCTION.
2. VERIFY ITEMS SCHEDULED FOR DEMOLITION AND LIMITS OF DEMOLITION PRIOR TO PROCEEDING WITH THE WORK.
3. SAWCUT AT THE LIMIT OF ALL PAVEMENT AND CURB TO BE REMOVED OR REMOVE TO NEAREST EXPANSION JOINT OR CONTROL JOINT ADJACENT TO THE LIMIT OF SCHEDULED REMOVAL.
4. REMOVE FOUNDATIONS OF EXISTING STRUCTURES TO BE DEMOLISHED TO A MINIMUM OF 24" BELOW FINISHED GRADING.
5. BACKFILL BASEMENT, CRAWL SPACES, AND OTHER VOIDS RESULTING FROM STRUCTURE REMOVAL WITH SOIL BACKFILL OR APPROVED STONE BACKFILL.
6. DO NOT REMOVE EXISTING UTILITIES REQUIRED FOR SERVICE UNTIL NEW UTILITIES HAVE BEEN PROVIDED OR TEMPORARY SERVICE CONNECTIONS PROVIDED. PROTECT ALL EXISTING UTILITIES TO REMAIN.
7. CAP/ABANDON EXISTING UTILITIES IN ACCORDANCE WITH UTILITY COMPANIES AND/OR AUTHORITIES HAVING JURISDICTION.
8. EXISTING UTILITIES TO BE ABANDONED MAY REMAIN IN-PLACE WHERE THEY WILL NOT INTERFERE WITH FINISHED WORK. ACCURATELY NOTE ALL UTILITIES ABANDONED IN-PLACE ON CONTRACTOR'S RECORD DRAWINGS.
9. BURNING OF TREES, SHRUBS, BRUSH AND OTHER MATERIALS ON-SITE PERMITTED ONLY WHEN APPROVED BY LOCAL AND OTHER REGULATORY AGENCIES HAVING JURISDICTION. COORDINATE LOCATION OF BURN PITS WITH OWNER.
10. LOCATION AND LIMIT OF TEMPORARY CONSTRUCTION FENCE IS APPROXIMATE. PROVIDE AS REQUIRED FOR THE WORK, TO ACCOMMODATE WORK OF OTHER TRADES, AND AS REQUIRED TO REDUCE POTENTIAL ACCIDENTAL TRESPASS. PROVIDE VEHICULAR ACCESS GATES AND MAN GATES WHERE REQUIRED FOR ACCESS (COORDINATE WITH CONSTRUCTION ENTRANCE LOCATIONS SHOWN ON EROSION AND SEDIMENT CONTROL PLAN).
11. PROVIDE TEMPORARY TRUNK AND ROOT PROTECTION FOR ALL EXISTING SPECIMEN TREES TO REMAIN OR WHERE TREES TO REMAIN COULD BE DAMAGED BY CONSTRUCTION ACTIVITIES.
12. REMOVE AND DISPOSE OF DEBRIS, INCLUDING, BUT NOT LIMITED TO TIRES, GLASS, SHEET METAL, DERELICT AUTOMOBILE(S) AND HOUSEHOLD APPLIANCES, LIMITS, COMPOSITION AND LOCATION OF DEBRIS APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD AND SECURE ALL PERMITS NECESSARY FOR PROPER DISPOSAL.

SANITARY SEWER AND WATER:

- 1. ALL UTILITIES HAVE BEEN LOCATED BASED ON EXISTING SURFACE APPURTENANCES AND IN ACCORDANCE WITH ACT 38 OF 1991. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES AND ALL EFFORTS SHALL BE UNDERTAKEN TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. RESTORATION OF ALL EXISTING SURFACE IMPROVEMENTS DAMAGED OR ALTERED DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. PRIOR TO BEGINNING WORK ON THE SITE, THE CONTRACTOR MUST PROVIDE A ONE CALL TO HAVE ALL UNDERGROUND UTILITIES LOCATED AND MARKED IN THE FIELD.
3. THE SITE IS SERVED BY PUBLIC SEWER. ALL DESIGN, CONSTRUCTION AND PERMITTING SHALL BE DONE PER THE REQUIREMENTS OF THE SEWER AUTHORITY THAT WERE DULY ADOPTED AND APPROVED BY THE AUTHORITY AND IN FULL FORCE AND EFFECT ON THE DATE OF CONSTRUCTION.
4. THE SITE IS SERVED BY PUBLIC WATER. ALL DESIGN, CONSTRUCTION AND PERMITTING SHALL BE DONE PER THE REQUIREMENTS OF THE WATER AUTHORITY THAT WERE DULY ADOPTED AND APPROVED BY THE DEPARTMENT AND IN FULL FORCE AND EFFECT ON THE DATE OF CONSTRUCTION.
5. WATER AND SEWER LINES MUST MAINTAIN A MINIMUM SEPARATION DISTANCE OF 18 INCHES VERTICALLY AND TEN (10') FEET HORIZONTALLY. OTHERWISE, CONCRETE ENCASEMENT OF THE SEWER LINE IS REQUIRED.
6. ALL CONNECTIONS TO THE EXISTING SANITARY MANHOLES SHALL BE CORE DRILLED AND PROPERLY SEALED WITH WATER-TIGHT JOINTS OR CONSTRUCTED PER THE SEWER AUTHORITY STANDARDS.

OTHER UTILITIES:

- 1. LIGHTING WILL BE PROVIDED AS SHOWN ON THE PLANS BY THE DEVELOPER AND SHALL MEET ALL MUNICIPALITY SPECIFICATIONS.

STORMWATER MANAGEMENT NOTES

- 1. ALL STORM WATER FACILITIES ARE PERMANENT AND SHALL BE MAINTAINED BY THE OWNER EXCLUDING THOSE DEDICATED FOR PUBLIC USE. IN THE "DESIGN CONDITION" ESTABLISHED BY THESE PLANS SO THAT THEY ARE PERFORMING THEIR DESIGNED FUNCTION, IN A MANNER ACCEPTABLE TO THE MUNICIPALITY AND AS REQUIRED BY THE MUNICIPAL STORMWATER MANAGEMENT ORDINANCE.
2. THE STORMWATER MANAGEMENT FACILITIES ARE PERMANENT FIXTURES THAT ARE NOT PERMITTED TO BE ALTERED OR REMOVED UNLESS A REVISED PLAN AND ASSOCIATED DOCUMENTATION IS APPROVED BY THE MUNICIPALITY.
3. THE MUNICIPALITY IS NOT RESPONSIBLE FOR INSTALLATION OR MAINTENANCE OF ANY STORM WATER FACILITIES NOT DEDICATED FOR PUBLIC USE.
4. OWNERSHIP AND MAINTENANCE OF ALL STORMWATER MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE LANDOWNER, THEIR SUCCESSORS AND ASSIGNS, UNLESS SPECIFICALLY IDENTIFIED OTHERWISE HEREIN.
5. NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF A DRAINAGE EASEMENT OR STORM DRAINAGE FACILITY THAT COULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT, OR THE STORM DRAINAGE FACILITY.
6. THE MUNICIPALITY SHALL HAVE THE RIGHT TO ACCESS THE SITE TO INSPECT STORM WATER FACILITIES AT ANY TIME, REQUIRE THAT THE LAND OWNER TAKE CORRECTIVE MEASURES AND ASSIGN THE LAND OWNER REASONABLE TIME PERIODS FOR ANY NECESSARY ACTION, AND AUTHORIZE MAINTENANCE TO BE DONE AND LIEN ALL COSTS OF ALL WORK AGAINST THE PROPERTIES OF THE PRIVATE ENTITY RESPONSIBLE FOR MAINTENANCE. THIS MAY BE DONE SHOULD THE OWNER FAIL TO PROPERLY MAINTAIN SUCH FACILITIES IN GOOD WORKING CONDITION.
7. MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES SHALL INCLUDE PERFORMING ROUTINE MAINTENANCE, REPAIR AND/OR REPLACEMENT OF DAMAGED FACILITIES, VEGETATION OR STORMWATER AREAS TO CONDITIONS AS SHOWN ON THE APPROVED PLAN AND IN ACCORDANCE WITH THE SPECIFIC OWNERSHIP AND MAINTENANCE REQUIREMENTS NOTES/TABLES CONTAINED WITHIN THIS PLAN SET FOR THE SPECIFIC FACILITIES. THE MUNICIPAL STORMWATER MANAGEMENT ORDINANCE, AND IN ACCORDANCE WITH ALL STORMWATER MANAGEMENT AGREEMENTS EXECUTED WITH THE MUNICIPALITY.
8. THE STORMWATER MANAGEMENT AGREEMENT AND DECLARATION OF EASEMENT RECORDED AT THE RECORDER OF DEEDS OR EXECUTED WITH THE MUNICIPALITY AS PART OF THIS PLAN WOULD FURTHER IDENTIFY THE REQUIRED RESPONSIBILITIES OF OWNERSHIP AND MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES.
9. THE MUNICIPALITY MAY REQUIRE ANNUAL INSPECTIONS AND REPORTING DOCUMENTATION REQUIREMENTS FOR CONSTRUCTED STORMWATER MANAGEMENT FACILITIES. IT SHALL BE THE RESPONSIBILITY OF THE LANDOWNER TO REVIEW ALL REQUIREMENTS NOTED ON THESE PLANS AND TO CONTACT THE MUNICIPALITY FOR ANY REQUIRED INSPECTION AND REPORTING REQUIREMENTS.
10. THE PROPOSED STORMWATER MANAGEMENT FACILITIES ARE DESIGNED FOR IMPROVEMENTS AS SHOWN ON THESE PLANS. ANY ADDITIONAL IMPERVIOUS COVERAGE, CHANGE IN LAND COVER, ADDITIONAL DRAINAGE AREA, ETC., BEYOND WHAT IS DOCUMENTED ON THESE PLANS AND THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT SHALL REQUIRE ADDITIONAL APPROVALS FROM THE MUNICIPALITY.
11. EIA GROUP, INC. WILL PREPARE A POST CONSTRUCTION STORMWATER MANAGEMENT (PCSM) REPORT AS PART OF THE SUPPORTING DOCUMENTATION FOR THE PROPOSED IMPROVEMENTS AS DOCUMENTED ON THESE PLANS TO ADDRESS APPLICABLE COUNTY, STATE, AND MUNICIPAL REQUIREMENTS.

STORMWATER MANAGEMENT CONSTRUCTION NOTES

- 1. CONTACT THE MUNICIPALITY PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. AT THE TIME OF THE PRE-CONSTRUCTION MEETING, REQUIRED INSPECTIONS OF STORMWATER MANAGEMENT FACILITIES BY THE MUNICIPALITY, MUNICIPAL ENGINEER, AND RESPONSIBLE DESIGN PROFESSIONAL SHALL BE ESTABLISHED. FURTHER INFORMATION REGARDING REQUIRED CRITICAL STAGES OF STORMWATER INSPECTIONS UNDER THE PADEP NPDES PERMIT WILL BE PROVIDED WITHIN THIS PLAN SET.
2. ALL STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH REQUIREMENTS OF THE MUNICIPALITY, THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, AND SPECIFIC REQUIREMENTS AS NOTED.
3. ALL STORMWATER MANAGEMENT FACILITIES SHOWN ON THIS PLAN SHALL BE CONSTRUCTED BY THE DEVELOPER IN ACCORDANCE WITH THE DESIGN, CONDITIONS, AND SPECIFICATIONS IDENTIFIED ON THIS PLAN.
4. THE STORMWATER COLLECTION, CONVEYANCE, AND MANAGEMENT SYSTEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH DESIGN STANDARDS AND SPECIFICATIONS REQUIRED AT THE TIME OF PLAN APPROVALS. EIA GROUP, INC. ASSUMES NO RESPONSIBILITY FOR CHANGES IN SPECIFICATIONS THAT MAY OCCUR AFTER PLAN APPROVAL THAT WOULD REQUIRE ALTERNATE MATERIALS OR INSTALLATION REQUIREMENTS. THE CONTRACTOR SHALL VERIFY ALL CURRENT STANDARDS AND NOTIFY THE OWNER/DEVELOPER AND EIA GROUP, INC. OF ANY DISCREPANCIES THAT MAY EXIST PRIOR TO THE START OF CONSTRUCTION.
5. ALL INLET GRATES MUST BE SHALL BE BICYCLE SAFE.
6. ROOF LEADERS FROM THE PROPOSED BUILDINGS SHALL BE CONNECTED DIRECTLY TO THE DRAINAGE STRUCTURES WHERE INDICATED AND SHALL BE PROVIDED WITH WATER TIGHT JOINTS AND CONNECTIONS. SPLASH BLOCKS AND OTHER APPROVED EROSION CONTROL MEASURES SHALL BE PROVIDED WHERE DOWNSPOTS ARE SPECIFIED TO DISCHARGE AT-GRADE. THE ROOF LEADER CONVEYANCE PIPING SYSTEM SHALL BE FIELD ADJUSTED AS REQUIRED TO ACCOMMODATE PROPOSED UTILITIES. APPROPRIATE FITTINGS, CLEAN-OUTS, AND CONNECTIONS SHALL BE UTILIZED TO INSTALL ROOF LEADERS TO THE PROPOSED INLETS AND STORMWATER MANAGEMENT SYSTEMS. ROOF DOWNSPOTS AND LEADER LOCATIONS ARE SHOWN BASED UPON INFORMATION PROVIDED TO EIA GROUP, INC. ANY CHANGES TO THE ROOF DRAINAGE AND ASSOCIATED POINTS OF CONNECTION SHALL BE APPROVED.
7. FINAL GRADING AND STORMWATER DISCHARGE FROM SITE IMPROVEMENTS SHALL ENSURE THE APPROVED WATERSHED/DRAINAGE AREAS ARE DIRECTED TO THE COLLECTION, CONVEYANCE, AND STORMWATER MANAGEMENT FACILITIES AS PER THE APPROVED DESIGN. THE APPROVED WATERSHED/DRAINAGE AREAS MAPPING ARE LOCATED WITHIN THE PLAN SET AND/OR WITHIN THE POST CONSTRUCTION STORMWATER MANAGEMENT REPORT. ON-SITE DRAINAGE AREAS FOR EXISTING CONDITIONS HAVE BEEN DETERMINED/DELINEATED BASED UPON TOPOGRAPHIC INFORMATION PROVIDED BY OTHERS. IF ON-SITE DRAINAGE CONDITIONS DIFFER THAN WHAT IS REPRESENTED ON THE PLANS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DESIGN ENGINEER.
8. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS, INCLUDING OVERLAND FLOWS, DISCHARGE FROM ROOF DOWNSPOTS, AND OVERFLOW SYSTEMS.
9. FOR ANY FIELD REVISIONS, CHANGES, OR DEVIATIONS FROM THE APPROVED PLANS, THE APPLICANT MUST OBTAIN APPROVAL FROM THE MUNICIPALITY AND RESPONSIBLE PROFESSIONAL SITE CONSULTANT PRIOR TO PROCEEDING WITH SUCH REVISION(S).
10. ALL STORMWATER PIPING ARE TO BE PROVIDED WITH WATER TIGHT JOINTS AND CONNECTIONS. ALL SMOOTH LINED CORRUGATED POLYETHYLENE STORM PIPE (SLCFFP) SHALL BE PROVIDED WITH INTEGRAL BELL AND SPIGOT JOINTS FOR A WATERTIGHT (WT) JOINT MEETING THE REQUIREMENTS OF AASHTO M252, AASHTO M244 OR ASTM F2306. THE JOINT SHALL BE WATERTIGHT (WT) ACCORDING TO THE REQUIREMENTS OF ASTM D3212 AND PROVIDE A MINIMUM 10 PSI PRESSURE RATING. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F471 AND SHALL BE INSTALLED BY THE PIPE MANUFACTURER AND COVERED WITH A REMOVABLE PROTECTIVE WRAP TO ENSURE THE GASKET IS FREE OF DEBRIS. ALL REINFORCED CONCRETE STORM PIPE (RCP) SHALL BE PROVIDED WITH WATERTIGHT "O" RING GASKETS.
11. SUB SURFACE STORMWATER MANAGEMENT FACILITIES SUCH AS INFILTRATION SYSTEMS, UNDERGROUND PIPE SYSTEMS, ETC. THAT ARE NOT ACCESSIBLE POST CONSTRUCTION SHALL BE SURVEYED DURING INSTALLATION TO PROVIDE COMPLETE INFORMATION INCLUDING: LOCATION, INVERTS, DIMENSIONS, STONE LIMITS, DISTRIBUTION PIPING, ETC. THIS INFORMATION SHALL BE PROVIDED AS PART OF THE REQUIRED SURVEYED AS-BUILT PLANS AND REQUIRED ENGINEERING ANALYSIS/CERTIFICATION.

STORMWATER AS BUILT AND CONSTRUCTION CLOSE-OUT NOTES

- 1. IF REQUIRED BY THE MUNICIPALITY, AT THE COMPLETION OF THE PROJECT, AND AS PREREQUISITE FOR THE RELEASE OF FINANCIAL SECURITY, THE APPLICANT SHALL PROVIDE CERTIFICATION OF COMPLETION FROM A QUALIFIED PROFESSIONAL, VERIFYING THAT ALL PERMANENT SWM FACILITIES HAVE BEEN CONSTRUCTED ACCORDING TO THE PLANS AND SPECIFICATIONS AND APPROVED REVISIONS THERETO.
2. SURVEYED AS-BUILT PLANS AND PROFESSIONAL AS-BUILT ENGINEERING ANALYSIS/CERTIFICATION OF COMPLETED STORMWATER MANAGEMENT IMPROVEMENTS ARE REQUIRED TO BE SUBMITTED TO THE MUNICIPALITY FOR REVIEW AND APPROVAL. THE AS-BUILT PLANS MUST BE CERTIFIED BY A PROFESSIONAL SURVEYOR AND THE AS-BUILT ENGINEERING ANALYSIS/CERTIFICATION MUST BE CERTIFIED BY A PROFESSIONAL RECOGNIZED BY THE STATE FOR STORMWATER DESIGN. THE AS-BUILT PLANS SHALL SHOW COMPLETE INFORMATION FOR ALL CONSTRUCTED POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES AND MEET ALL REQUIRED MUNICIPAL AND PADEP NPDES PERMIT NOTICE OF TERMINATION (NOT) REQUIREMENTS (AS APPLICABLE). BOTH AN ELECTRONIC AND PDF FORMAT OF THE COMPLETED AS-BUILT WILL BE REQUIRED.
3. SEE PADEP NPDES PERMIT NOTES FOR ADDITIONAL AS-BUILT REQUIREMENTS.

EROSION AND SEDIMENT CONTROL NOTES

- 1. IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 102 OF THE ADMINISTRATIVE CODE, TITLE 25 (PA DEP RULES AND REGULATIONS), A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE ON-SITE DURING CONSTRUCTION UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
2. THE MEASURES AND FACILITIES AS IDENTIFIED ON THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE APPLIED AND INSTALLED PRIOR TO THE COMMENCEMENT OF ANY EARTH MOVING, SITE WORK, OR CONSTRUCTION - AS PER THE CONSTRUCTION SEQUENCE IDENTIFIED ON THE APPROVED EROSION AND SEDIMENT CONTROL PLANS. ALL EROSION AND SEDIMENT CONTROL FACILITIES SHALL MEET THE REQUIREMENTS OF APPROVED EROSION AND SEDIMENT CONTROL PLAN, PADEP NPDES PERMIT (AS APPLICABLE), AND PA DEP CHAPTER 102 REGULATIONS.
3. SOILS INFORMATION SHOWN ON THE PLANS IS BASED UPON MAPPING AND INFORMATION PROVIDED FROM THE WEB SOIL SURVEY (HTTPS://WEBSOILSURVEY.SCE.SOV.USDA.GOV), UNLESS OTHERWISE NOTED. A QUALIFIED GEOTECHNICAL PROFESSIONAL SHALL BE CONSULTED FOR ALL SOIL-RELATED REQUIREMENTS INCLUDING LIMITATIONS, ISSUES, AND RESOLUTIONS INCLUDING UNSUITABLE SOILS, SUB SURFACE SUBSIDENCE, ETC.

PADEP NPDES PERMIT NOTES

- 1. THE PLANS WILL BE APPROVED UNDER A PADEP NPDES PERMIT. ALL PERMIT CONDITIONS AND REQUIREMENTS OF THE ISSUED/APPROVED NPDES PERMIT MUST BE STRICTLY ADHERED TO INCLUDING PRE CONSTRUCTION MEETINGS, CRITICAL STAGES OF INSPECTION BY A LICENSED PROFESSIONAL, CONSTRUCTION REPORTS, ADHERENCE TO APPROVED LIMITS OF DISTURBANCE, PROFESSIONAL CERTIFICATION OF COMPLETED STORMWATER MANAGEMENT FACILITIES, FILING OF NOTICE OF TERMINATION, ETC. A SUMMARY OF PERMIT CONDITIONS IS PROVIDED ON THE PLANS FOR REFERENCE.
2. THE REQUIRED SURVEYED AS-BUILT DOCUMENTATION OF THE PADEP NOTICE OF TERMINATION (N.O.T.) OF PADEP NPDES PERMIT MUST BE PROVIDED IN AN ELECTRONIC FORMAT TO THE CERTIFYING PROFESSIONAL AND SHALL PROVIDE ALL INFORMATION AND AS-BUILT CHECKLIST, INCLUDING ALL STORMWATER STRUCTURES, PIPE SYSTEMS, BMP GRADING, OUTLET STRUCTURES, CLEANOUTS, ETC. THE N.O.T. FOR THE PADEP NPDES PERMIT REQUIRES THE APPROVED AS BUILT SURVEY BE RECORDED AT THE RECORDER OF DEEDS.

GEOTECHNICAL STORMWATER NOTES:

- 1. EIA GROUP, INC. MAKES NO REPRESENTATIONS AS TO THE SUBSURFACE CONDITIONS OF THE PROJECT SITE INCLUDING DEPTH OF BEDROCK, GEOLOGICAL AND/OR ENVIRONMENTAL CONDITIONS, SOIL STABILITY, ETC.
2. WHERE SPECIFIED ON THE PLANS, ENGINEERED STORMWATER MANAGEMENT INFILTRATION SYSTEMS RELY ON PERMEABLE SOIL CONDITIONS TO DENATURE AND FUNCTION PROPERLY. AS PART OF THE DESIGN PROCESS, SOIL TESTING WILL BE PERFORMED TO ASSURE SUB SURFACE CONDITIONS ARE CONGENIVE TO THE INFILTRATION AND STORAGE SYSTEMS. THE CONTRACTOR DURING CONSTRUCTION TO ASSURE THAT COMPACTION DOES NOT OCCUR WHICH WOULD COMPROMISE THE PERMEABILITY OF THE SUBGRADE OF THE INFILTRATION FACILITIES, THE INFILTRATION AREAS MUST BE PROTECTED AGAINST COMPACTION FROM CONSTRUCTION ACTIVATES, SEDIMENT LADEN RUN-OFF, AND STOCK PILING. IF AFTER INSTALLATION THE INFILTRATION FACILITIES DO NOT FUNCTION AS DESIGNED, AND THE CAUSE IS DETERMINED TO BE COMPACTION DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE TO PERFORM REMEDIATION, OUTLINED BY THE QUALIFIED PROFESSIONAL, TO RESTORE PRE-CONSTRUCTION PERMEABILITY.
3. THE INSTALLATION OF ALL STORMWATER BASIN AND SUBSURFACE STORMWATER MANAGEMENT SYSTEMS SHALL BE OVERSEEN BY A GEOTECHNICAL PROFESSIONAL AND SHALL BE CERTIFIED BY SUBGRADE INSPECTIONS AND IN-SITU INFILTRATION TESTING TO CONFIRM THAT THE SUBSOIL PERMEABILITY HAS BEEN MAINTAINED, AND THE BASIN AND SUBSURFACE SYSTEMS ARE NOT DESIGNED FOR INFILTRATION THE SUBGRADE AND ANY ASSOCIATED REQUIRED IMPERVIOUS LINERS OR COMPACTED SUBGRADE SHALL ALSO BE CERTIFIED BY INSPECTIONS BY THE GEOTECHNICAL PROFESSIONAL. ALL DOCUMENTATION SHALL BE PROVIDED TO THE CERTIFYING PROFESSIONAL AND MUNICIPALITY.
4. THE MUNICIPALITY AND THE GEOLOGIST/GEOTECHNICAL ENGINEER OF RECORD SHALL BE NOTIFIED IN THE EVENT OF SUBSURFACE SUBSIDENCE ACTIVITY INCLUDING SINKHOLES AND ALL OTHER UNSUITABLE SUBSURFACE CONDITIONS IF ENCOUNTERED DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES. A LICENSED PROFESSIONAL GEOLOGIST OR GEOTECHNICAL ENGINEER SHALL BE ENGAGED TO INVESTIGATE ALL UNSUITABLE SITE CONDITIONS AS IDENTIFIED ABOVE INCLUDING THE PREPARATION OF STABILIZATION PROCEDURES, DIRECTING THE STABILIZATION WORK, AND MAKING RECOMMENDATIONS FOR CONSTRUCTION TECHNIQUES/PROCEDURES AND DESIGN MODIFICATIONS THAT WILL REDUCE THE POTENTIAL FOR FURTHER UNSUITABLE CONDITIONS AND POTENTIAL SUB SURFACE SUBSIDENCE.
5. A GEOLOGICAL ENGINEERING TESTING WAS PERFORMED BY EGS MID-ATLANTIC, LLC AND REPORT DATED: FEBRUARY 10, 2023 TITLED "GEOTECHNICAL ENGINEERING REPORT FOR STORMWATER MANAGEMENT" HAS BEEN PROVIDED. THE RECOMMENDATIONS AND DOCUMENTATION PROVIDED WITHIN THE GEOTECHNICAL REPORT SHALL BE STRICTLY ADHERED TO, UNLESS OTHERWISE APPROVED BY THE GEOTECHNICAL PROFESSIONAL.

KARST-RELATED SUBSURFACE GEOLOGIC HAZARD NOTES:

- 1. THE LANDOWNER OF RECORD ACKNOWLEDGES THAT CARBONATE GEOLOGY AND THE ASSOCIATED RISK OF SINKHOLES AND SUBSURFACE SUBSIDENCE HAS BEEN IDENTIFIED ON THE SUBTRACT TRACT BY THE GEOTECHNICAL PROFESSIONAL PERFORMING THE STORMWATER INFILTRATION FEASIBILITY ANALYSIS.
2. BY EXECUTING/SIGNING THESE PLANS, THE LANDOWNER UNDERSTANDS THAT SINKHOLE AND SUBSURFACE SUBSIDENCE RISKS EXIST FOR THE PROPOSED STORMWATER MANAGEMENT SYSTEMS AS DESIGNED TO ACCOMMODATE THE PROPOSED IMPROVEMENTS. THE LANDOWNER ASSUMES ALL RESPONSIBILITY FOR ANY ADVERSE CONDITIONS THAT MAY DEVELOP AS A RESULT OF STORMWATER SYSTEMS (INCLUDING INFILTRATION SYSTEMS) IN A CARBONATE GEOLOGY AREA. THE STORMWATER MANAGEMENT SYSTEMS SHALL BE MONITORED FOR PROPER PERFORMANCE AND A GEOTECHNICAL PROFESSIONAL SHALL BE CONSULTED FOR ANY ADVERSE SITUATIONS THAT MAY DEVELOP.
3. THE DESIGN AND LOCATION OF THE STORMWATER SYSTEMS HAVE INCORPORATED PROVISIONS TO MINIMIZE THE POTENTIAL FOR SINKHOLES AND SUBSURFACE SUBSIDENCE. HOWEVER BASED UPON DOCUMENTED SUB SURFACE CONDITIONS AND THE INHERENT RISK OF INFILTRATION IN CARBONATE GEOLOGY, THE CURRENT AND FUTURE LANDOWNER(S) ASSUMES ALL RESPONSIBILITY FOR ANY ADVERSE CONDITIONS THAT MAY DEVELOP AS A RESULT OF DEVELOPING THE INDIVIDUAL LOTS(S) AND INSTALLING STORMWATER SYSTEMS IN A CARBONATE GEOLOGY AREA SUCH AS SINKHOLES, SUB-SURFACE SUBSIDENCE, AND ASSOCIATED PROPERTY DAMAGE.
4. THE CURRENT LANDOWNER OF RECORD ASSUMES THE RESPONSIBILITY AND MEANS OF INFORMING ALL SUBSEQUENT PURCHASERS OF PROPOSED LOTS CREATED BY THIS PLAN OF THE INHERENT RISKS OF CARBONATE GEOLOGY AND STORMWATER MANAGEMENT FACILITIES ON THE LOTS AND THAT THE INDIVIDUAL LANDOWNER(S) ASSUMES ALL RESPONSIBILITY FOR ANY ADVERSE CONDITIONS THAT MAY DEVELOP.
5. THE STORMWATER SYSTEMS SHALL BE MONITORED FOR PROPER PERFORMANCE FOLLOWING CONSTRUCTION AND SIGNS OF KARST ACTIVITY.

BLASTING NOTES

- 1. SHOULD BLASTING BE UTILIZED DURING BASIN CONSTRUCTION, IT IS IMPERATIVE TO MINIMIZE CHARGES TO AVOID "OVER-BLASTING" OF THE BEDROCK BEYOND REQUIRED EXCAVATION DEPTHS. INCREASED/MANMADE FRACTURES WITHIN THE BEDROCK, SPECIFICALLY WITHIN STORMWATER BASINS, WILL INCREASE SINKHOLE POTENTIAL. A LICENSED PROFESSIONAL SHALL BE CONSULTED PRIOR TO ANY BLASTING PRACTICES TO ENSURE THE FUNCTIONALITY OF THE BASIN WILL NOT BE COMPROMISED BY BLASTING PROCEDURES.

CONTRACTOR NOTES:

- 1. THE CONTRACTOR SHALL INSPECT THE SITE AND VERIFY EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS TO CONFIRM WITH THE OWNER THE PROPOSED LOCATION OF ALL EXISTING IMPROVEMENTS TO BE RELOCATED.
3. CONTRACTOR IS REQUIRED TO COORDINATE PROVISIONS FOR NEW UTILITIES, OR PROVIDE TEMPORARY CONNECTIONS, IN ACCORDANCE WITH THE NEW WORK SCHEDULED TO BE COMPLETED FOR CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR ALL THE TRAFFIC BARRICADING AND OTHER TRAFFIC CONTROLS AS REQUIRED TO MAINTAIN OWNERS USE OF THE SITE DURING CONSTRUCTION OPERATIONS.
5. PROVIDE TEMPORARY TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS WHERE INDICATED ON DRAWINGS AND AS REQUIRED TO FACILITATE TRAFFIC MOVEMENTS FOR ALL TEMPORARY ROADWAYS, ACCESS DRIVES, PARKING AREAS, AND PERMANENT PAVEMENTS WHERE THE FINAL WEARING COURSE WILL NOT BE INSTALLED UNTIL A LATER CONSTRUCTION PHASE.
6. CONSTRUCTION OF ALL IMPROVEMENTS SHALL BE BASED ON ACTUAL FIELD STAKING BY A REGISTERED SURVEYOR OR PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL NOT DEVIATE FROM THE GEOMETRY OR DIMENSIONS INDICATED ON THE PLAN WITHOUT APPROVAL OF THE EIA GROUP, MUNICIPALITY, OR THE AUTHORITY HAVING JURISDICTION. ALL BUILDINGS SHALL BE STAKED / CONSTRUCTED FROM THE ARCHITECTURAL PLANS.
7. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS FROM THE MUNICIPALITY RELATIVE TO CONSTRUCTION PROPOSED ON THIS PLAN PRIOR TO INITIATING ANY WORK COVERED BY THE PERMIT.
8. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE GRADING PLAN IS IMPLEMENTED CORRECTLY, AND THAT PROPER DRAINAGE IS PROVIDED DURING CONSTRUCTION.
9. ALL SPOT ELEVATIONS LOCATED ALONG ROADWAYS, ACCESS DRIVES, AND PARKING LOTS ARE BOTTOM OF CURB, UNLESS OTHERWISE NOTED.
10. IF FIELD CONDITIONS ARE DETERMINED TO BE DIFFERENT THAN SHOWN ON THIS PLAN, THE OWNER'S REPRESENTATIVE MUST BE NOTIFIED BEFORE PROCEEDING.
11. THE CONTRACTOR IS RESPONSIBLE TO INSTALL THE CURB RAMPS AND DRIVEWAY APRONS TO THE LATEST ADA AND/OR PENNDOT STANDARDS AT THE TIME OF CONSTRUCTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A COMPLETE AS-BUILT SURVEY OF THE CONSTRUCTED IMPROVEMENTS INCLUDING STORMWATER MANAGEMENT SYSTEM PLANS AND PROFILES AS REQUIRED BY THE MUNICIPALITY.

Table with 3 columns: REVISIONS PER, DATE, BY. Contains a grid for tracking revisions.

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Professional seals for Pennsylvania Professional Engineer (Derrick James Musser) and Registered Professional Engineer (No. P08444) in Pennsylvania.

CONDITIONAL USE PLAN SUBJECT: PLAN NOTES FOR CHIQUES CROSSING RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA CLIENT: VISTABLOCK, LLC 150 FARMINGTON LANE LANCASTER, PA 17601 717-682-8775

Table with project details: MANAGER: BDG DATE: JAN. 5, 2024 DESIGNER: DJM PROJECT NO. 1212-002 DRAWN BY: BLM SCALE: AS SHOWN



PENNSYLVANIA ACT 287 AS AMENDED BY ACT 50 (2017) REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH. DATE: OCT. 25, 2022 BY: WS SERIAL NO.: 20222981979 DATE: OCT. 25, 2022 BY: WS SERIAL NO.: 20222981980 DATE: OCT. 25, 2022 BY: WS SERIAL NO.: 20222981981

DRAWING: C:\Users\lrsawyer\Documents\EIA_Group\1212-002 Chiques Crossing\Project Files\CAD Data\Land Development\Cover.dwg - PLOTTED: Jan 05, 2024 7:21 am

PADEP GENERAL NPDES PERMIT REQUIREMENTS

(NOTE: SEE APPROVED & ISSUED PADEP NPDES PERMIT FOR FULL AND COMPLETE REQUIREMENTS)

I. NOTICE OF TERMINATION

- A. TERMINATION OF COVERAGE
1. UPON PERMANENT STABILIZATION OF EARTH DISTURBANCE ACTIVITY UNDER 25 PA. CODE § 102.22(A)(2) (RELATING TO PERMANENT STABILIZATION) AND INSTALLATION OF BMPs IN ACCORDANCE WITH THE APPROVED PLANS PREPARED AND IMPLEMENTED IN ACCORDANCE WITH 25 PA. CODE §§ 102.4 AND 102.8, THE PERMITTEE AND/OR CO-PERMITTEES SHALL SUBMIT AN NOT TO DEP OR CCD, THE NOT WORKING CONDITION REPORT (NWC) TO DEP OR CCD WITHIN THIRTY (30) DAYS OF THE DATE OF THE NWC.
- a. THE FACILITY NAME, ADDRESS, AND LOCATION.
- b. THE OPERATOR NAME AND ADDRESS.
- c. THE PERMIT NUMBER.
- d. THE REASON FOR THE PERMIT TERMINATION.
- e. IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR THE LONG-TERM O&M OF P&M BMPs).
2. UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF THE NOT, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR THE LONG-TERM O&M OF THE PERMITTING FACILITIES, INCLUDING THE LONG-TERM O&M OF ALL P&M BMPs ON THE PROJECT SITE IN ACCORDANCE WITH 25 PA. CODE § 102.8(M) (RELATING TO P&M LONG-TERM OPERATION AND MAINTENANCE REQUIREMENTS). DEP OR CCD WILL CONDUCT A FOLLOW-UP INSPECTION AND APPROVE OR DENY THE NOT WITHIN 30 DAYS OF ITS RECEIPT IN ACCORDANCE WITH 25 PA. CODE § 102.7(G) (RELATING TO PERMIT TERMINATION).

B. FINAL CERTIFICATION

1. THE PERMITTEE SHALL ENCLOSE WITH THE NOT "RECORD DRAWINGS" A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:
- "I (NAME) DO HEREBY CERTIFY TO THE PENALTIES OF 18 P.A.C.S. § 4004 TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS BUILT CONDITIONS, ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED P&M PLAN, ALL APPROVED PLAN CHANGES, AND ACCEPTED CONSTRUCTION PRACTICES."
2. THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS PART OF THE APPROVED P&M PLAN AND SHALL PROVIDE A COPY OF THE RECORD DRAWINGS TO THE PERSON IDENTIFIED AS RESPONSIBLE FOR THE LONG-TERM O&M PLAN TO DEP OR CCD AND THE MUNICIPALITY(IES) WHERE THE PROJECT SITE IS LOCATED.

PART A: EFFLUENT LIMITATIONS, MONITORING AND REPORTING REQUIREMENTS

I. EFFLUENT LIMITATIONS

- A. BMPs
- EXCEPT AS REQUIRED BY 25 PA. CODE § 102.1(C), THIS GENERAL PERMIT ESTABLISHES NARRATIVE PERFORMANCE-BASED EFFLUENT LIMITATIONS IN THE FORM OF BMPs IDENTIFIED IN E&S PLANS, P&M PLANS, AND PFC PLANS, WHICH CONTROL THE VOLUME, RATE, AND QUALITY OF STORMWATER RUNOFF DISCHARGED INTO SURFACE WATERS, AND WHICH REPLICATE PRE- CONSTRUCTION INFILTRATION AND RUNOFF CONDITIONS TO THE MAXIMUM EXTENT PRACTICABLE. SECTION 102.1(C) INCORPORATES BY REFERENCE FEDERAL EFFLUENT LIMITATION GUIDELINES IN 40 CFR PART 450 (RELATING TO THE CONSTRUCTION AND DEVELOPMENT POINT SOURCE CATEGORY).
- B. WATER QUALITY-BASED EFFLUENT LIMITATIONS.
1. PERSONS PERFORMING OR CONDUCTING EARTH DISTURBANCE ACTIVITIES SHALL DEVELOP, IMPLEMENT AND MAINTAIN E&S AND P&M BMPs TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND SEDIMENTATION AND TO MANAGE POST- CONSTRUCTION STORMWATER TO ENSURE THAT THE WATER QUALITY STANDARDS OF ALL AFFECTED WATERS ARE ATTAINED.
2. EARTH DISTURBANCE ACTIVITIES AUTHORIZED UNDER THIS GENERAL PERMIT SHALL ACHIEVE WQA AS ESTABLISHED IN ANY APPLICABLE PFC PLAN. DISCHARGES SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS ESTABLISHED IN ACCORDANCE WITH DEP'S REGULATIONS AT 25 PA. CODE CHAPTERS 41-46, 102, AND 105.
3. FOR ALL PERMITTEES COVERED UNDER THIS GENERAL PERMIT, DEP OR CCD MAY, UPON WRITTEN NOTICE, REQUIRE ADDITIONAL BMPs OR OTHER CONTROL MEASURES TO ENSURE THAT THE WATER QUALITY STANDARDS OF THE RECEIVING WATERS ARE ATTAINED.
- C. THE PERMITTEE MAY NOT DISCHARGE:
1. FLOATING SOLIDS, SUCH AS SUBSTANCES THAT RESULT IN OBSERVED DEPOSITS IN THE RECEIVING WATER, AND FOAM OR SUBSTANCES THAT PRODUCE AN OBSERVABLE CHANGE IN THE COLOR, TASTE, ODOR OR TURBIDITY OF THE RECEIVING WATER. (25 PA. CODE § 102.41(C))
2. SUBSTANCES IN CONCENTRATION OR AMOUNTS WHICH ARE MINIMAL OR HARMFUL TO THE WATER USES TO BE PROTECTED OR TO HUMAN ANIMAL, PLANT OR AQUATIC LIFE. (25 PA. CODE § 102.41(A))

II. MONITORING, INSPECTION, AND REPORTING REQUIREMENTS

- A. SITE INSPECTIONS - THE PERMITTEE SHALL CONDUCT VISUAL SITE INSPECTIONS THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE NOT HAS BEEN SUBMITTED BY THE PERMITTEE, AT THE FOLLOWING FREQUENCIES:
- ROUTINE INSPECTIONS SHALL BE CONDUCTED WEEKLY.
 - POST-STORM EVENT INSPECTIONS SHALL BE CONDUCTED WITHIN 24 HOURS AFTER THE CONCLUSION OF EACH MEASURABLE STORM EVENT (I.E. PRECIPITATION OF 0.25 INCH OR GREATER OVER A 24-HOUR PERIOD) OR THE OCCURRENCE OF SIGNIFICANT SUFFICIENT TO CAUSE A DISCHARGE.
 - CORRECTIVE ACTION INSPECTIONS SHALL BE CONDUCTED ANYTIME THE PERMITTEE OBSERVES A DEFICIENCY IN IMPLEMENTATION OF E&S AND P&M PLANS.
1. THE PERMITTEE SHALL DOCUMENT EACH SITE INSPECTION ON DEP'S CHAPTER 102 VISUAL SITE INSPECTION REPORT (3800-FM-BCH0212) OR ALTERNATIVE DOCUMENT OR ELECTRONIC FORM THAT COLLECTS AND RETAINS IDENTICAL INFORMATION. ALL REQUESTED INFORMATION ON THE VISUAL SITE INSPECTION REPORT MUST BE COMPLETED. IF ELECTRONIC FORMS ARE USED TO DOCUMENT SITE INSPECTIONS, THE PERMITTEE SHALL SUBMIT VISUAL SITE INSPECTION REPORTS TO DEP OR CCD UPON REQUEST.
2. SITE INSPECTIONS SHALL BE PERFORMED BY PERSONNEL THAT ARE TRAINED AND EXPERIENCED IN E&S AND P&M BMP CONSTRUCTION FUNCTION AND ARE FAMILIAR WITH THE E&S AND P&M PLANS FOR THE PROJECT SITE.
3. TO DETERMINE IF A STORM EVENT OF 0.25 INCH OR GREATER HAS OCCURRED ON A PROJECT SITE, THE PERMITTEE SHALL EITHER MAINTAIN A RAIN GAUGE ON-SITE OR OBTAIN STORM EVENT INFORMATION FROM A WEATHER STATION THAT IS REPRESENTATIVE OF THE PROJECT SITE LOCATION.
- B. LICENSED PROFESSIONAL OVERSIGHT OF CRITICAL STAGES (25 PA. CODE § 102.24(K))
- A LICENSED PROFESSIONAL, OR A DESIGNER SHALL BE PRESENT ON-SITE AND SHALL BE RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED P&M PLAN. THE CRITICAL STAGES MAY INCLUDE THE INSTALLATION OF UNDERGROUND TREATMENT OR STORAGE BMPs, STRUCTURALLY ENGINEERED BMPs, OR OTHER BMPs AS DEEMED APPROPRIATE BY DEP OR CCD.
- C. NON-COMPLIANCE OR POTENTIAL POLLUTION REPORTING
- WHERE E&S, P&M OR PFC BMPs ARE FOUND TO BE INOPERATIVE OR INEFFECTIVE DURING AN INSPECTION OR ANY OTHER TIME THE PERMITTEE BECOMES AWARE OF ANY INCIDENT CAUSING OR THREATENING POLLUTION AS DESCRIBED IN 25 PA. CODE § 102.43 (RELATING TO INCIDENTS CAUSING OR THREATENING POLLUTION), AS REQUIRED BY 25 PA. CODE § 102.41(B) (RELATING TO CONDITIONS APPLICABLE TO ALL PERMITS), THE PERMITTEE AND/OR CO-PERMITTEES SHALL, AS SOON AS POSSIBLE BUT NO LATER THAN FOUR (4) HOURS AFTER BECOMING AWARE OF THE INCIDENT, CONTACT DEP OR CCD, BY PHONE OR PERSONAL CONTACT, FOLLOWED BY THE SUBMISSION OF A WRITTEN REPORT WITHIN FIVE (5) DAYS OF THE INITIAL CONTACT, WHICH MAY BE WAIVED BY DEP OR CCD. NON-COMPLIANCE REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
1. ANY CONDITION ON THE PROJECT SITE WHICH MAY ENDANGER PUBLIC HEALTH, SAFETY, OR THE ENVIRONMENT, OR INVOLVE INCIDENTS WHICH CAUSE OR THREATEN POLLUTION.
 2. THE PERIOD OF NON-COMPLIANCE, INCLUDING EXACT DATES AND TIMES AND/OR ANTICIPATED TIME WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
 3. STEPS BEING TAKEN TO REDUCE, ELIMINATE, AND PREVENT RECURRENCE OF THE NON-COMPLIANCE; AND
 4. THE DATE OR SCHEDULE OF DATES, AND IDENTIFYING REMEDIES FOR CORRECTING NON-COMPLIANCE CONDITIONS.

III. RECORD KEEPING

THE PERMITTEE AND CO-PERMITTEES(S) SHALL RETAIN RECORDS OF ALL MONITORING INFORMATION INCLUDING COPIES OF ALL MONITORING AND INSPECTION REPORTS REQUIRED BY THIS GENERAL PERMIT, ALL MONITORING INFORMATION (INCLUDING SITE LOG BOOK, CALIBRATION AND MAINTENANCE RECORDS) AND RECORDS OF DATA USED TO COMPLETE THE NOI FOR THIS GENERAL PERMIT FOR A PERIOD OF THREE (3) YEARS FROM THE DATE OF PERMIT TERMINATION, AS REQUIRED BY 25 PA. CODE § 102.41(B)(2). THIS PERIOD OF RETENTION MUST BE EXTENDED DURING THE COURSE OF ANY UNRESOLVED COMPLIANCE ENFORCEMENT, OR LITIGATION OR WHEN REQUESTED BY DEP OR CCD. (25 PA. CODE § 102.43(C) AND 102.41(A)(2))

IV. DISCHARGES CONSISTENT WITH TERMS AND CONDITIONS OF THE GENERAL PERMIT

ALL DISCHARGES AUTHORIZED BY THIS NPDES PERMIT SHALL BE CONSISTENT WITH THE TERMS AND CONDITIONS OF THE GENERAL PERMIT.

PART B: STANDARD CONDITIONS

I. MANAGEMENT REQUIREMENTS

- A. PERMIT MODIFICATION, TERMINATION OR REVOCATION AND REISSUANCE
- THE GENERAL PERMIT WILL EXPIRE FIVE (5) YEARS FROM THE DATE OF ITS ISSUANCE. DEP WILL PUBLISH A NOTICE OF THE DRAFT, RENEWED, OR REISSUED GENERAL PERMIT OR OF ANY AMENDMENTS TO THIS GENERAL PERMIT IN THE PENNSYLVANIA BULLETIN, AND, AFTER A COMMENT PERIOD, DEP WILL PUBLISH NOTICE OF THE FINAL, RENEWED, REISSUED OR AMENDED GENERAL PERMIT IN THE PENNSYLVANIA BULLETIN. ANY PERSON WISHING TO BE COVERED BY SUCH A FINAL, RENEWED, REISSUED OR AMENDED GENERAL PERMIT SHALL SUBMIT AN NOI FOR GENERAL PERMIT COVERAGE OR, FOR EXISTING DISCHARGES WITH GENERAL PERMIT COVERAGE, AN AFFIRMATIVE ACKNOWLEDGMENT OF THE NEW GENERAL PERMIT TERMS AND CONDITIONS, AS APPLICABLE. SEE 40 CFR § 122.22(B)(2)(ii). A PERSON MAY ALTERNATIVELY REQUEST COVERAGE UNDER AN INDIVIDUAL NPDES PERMIT. SEE 40 CFR § 122.22(B)(2)(vi). 25 PA. CODE § 102.43(C) AND (D) (RELATING TO GENERAL PERMITS). IF THE PERMITTEE IS UNABLE TO COMPLY WITH THE GENERAL PERMIT TERMS AND CONDITIONS, THE PERMITTEE MUST SUBMIT AN APPLICATION FOR AN INDIVIDUAL NPDES PERMIT WITHIN 90 DAYS OF PUBLICATION OF THIS GENERAL PERMIT.
1. COVERAGE UNDER THIS GENERAL PERMIT MAY BE MODIFIED, SUSPENDED, REVOKED, REISSUED, OR TERMINATED DURING ITS TERM FOR ANY OF THE CAUSES SPECIFIED IN 25 PA. CODE CHAPTERS 42A (RELATING TO NPDES PERMITTING, MONITORING AND COMPLIANCE) AND 102 (RELATING TO EROSION AND SEDIMENT CONTROL) OR TO REQUIRE COVERAGE WITH UPDATED EFFLUENT LIMITATION GUIDELINES, WATER QUALITY STANDARDS, IMPAIRED WATER LISTINGS, OR NEWLY APPROVED TDOLS.
2. DEP MAY MODIFY, REVOKE, SUSPEND, OR TERMINATE PREVIOUSLY ISSUED COVERAGE UNDER THIS GENERAL PERMIT AND REQUIRE THE STORMWATER DISCHARGER TO APPLY FOR AND OBTAIN AN INDIVIDUAL NPDES PERMIT IN ACCORDANCE WITH 25 PA. CODE CHAPTERS 42A AND 102.
3. THE FILING OF A REQUEST BY THE PERMITTEE OR CO-PERMITTEES(S) FOR A GENERAL PERMIT OR COVERAGE MODIFICATION, REVOCATION, REISSUANCE, OR TERMINATION, OR A NOTIFICATION OF PLANNED CHANGES OR ANTICIPATED NON-COMPLIANCE, DOES NOT ELIMINATE ANY EXISTING GENERAL PERMIT CONDITIONS.
4. GENERAL PERMIT COVERAGE MODIFICATION OR REVOCATION WILL BE CONDUCTED ACCORDING TO 25 PA. CODE CHAPTERS 42A AND 102.
- B. DUTY TO PROVIDE INFORMATION
1. THE PERMITTEE OR CO-PERMITTEES(S) SHALL FURNISH TO DEP OR CCD WITHIN THIRTY (30) DAYS OR SUCH OTHER TIMEFRAME AS INSTRUCTED BY DEP OR CCD, ANY INFORMATION THAT DEP OR CCD MAY REQUEST TO DETERMINE WHETHER CAUSE EXISTS FOR MODIFYING, REVOKING, REISSUING, OR TERMINATING COVERAGE APPROVED UNDER THIS GENERAL PERMIT OR TO DETERMINE COMPLIANCE WITH THIS GENERAL PERMIT. (25 PA. CODE § 102.41(A) AND 40 CFR § 122.41(A))
2. THE PERMITTEE OR CO-PERMITTEES(S) SHALL FURNISH, UPON REQUEST, TO DEP OR CCD OR EPA, COPIES OF RECORDS REQUIRED TO BE KEPT BY THIS GENERAL PERMIT. (25 PA. CODE § 102.41(A) AND 40 CFR § 122.41(A))
3. WHEN THE PERMITTEE OR CO-PERMITTEES(S) BECOMES AWARE THAT THEY FAILED TO SUBMIT ANY RELEVANT FACTS OR SUBMITTED

- INCORRECT INFORMATION IN THE NOI, E&S PLAN, P&M PLAN, OR PFC PLAN OR IN ANY OTHER REPORT TO DEP OR CCD, THE PERMITTEE OR CO-PERMITTEE SHALL WITHIN 24 HOURS OF BECOMING AWARE OF THE DEFICIENCY SUBMIT OR CORRECT SUCH FACTS OR INFORMATION TO DEP OR CCD. (25 PA. CODE § 102.41(A) AND 40 CFR § 122.41(B))
4. THE PERMITTEE OR CO-PERMITTEE SHALL GIVE SEVEN (7) CALENDAR DAYS ADVANCE NOTICE TO DEP OR CCD OF ANY PLANNED PHYSICAL ALTERATIONS OR ADDITIONS TO THE PERMITTED FACILITY WHICH COULD, IN ANY WAY, SUBSTANTIALLY AFFECT THE QUALITY AND/OR QUANTITY OF STORMWATER DISCHARGED FROM THE ACTIVITY.
- C. SIGNATORY REQUIREMENTS (25 PA. CODE § 102.22 AND 40 CFR § 122.22)
- DOCUMENTS REQUIRED, SUBMITTED, OR MAINTAINED UNDER THIS GENERAL PERMIT SHALL BE SIGNED IN ACCORDANCE WITH THE FOLLOWING:
1. NOTICES OF INTENT, TRANSFER/ECO-PERMITTEE FORM, AND NOTICES OF TERMINATION.
- a. CORPORATIONS - (1) A PRESIDENT, SECRETARY, TREASURER, OR VICE-PRESIDENT OF THE CORPORATION IN CHARGE OF A PRINCIPAL BUSINESS FUNCTION, OR ANY OTHER PERSON WHO PERFORMS SIMILAR POLICY OR DECISION-MAKING FUNCTIONS FOR THE CORPORATION; OR (2) THE MANAGER OF ONE OR MORE MANUFACTURING, PRODUCTION, OR OPERATING FACILITIES; AUTHORITY TO SIGN DOCUMENTS HAS BEEN ASSIGNED OR DELEGATED TO THE MANAGER IN ACCORDANCE WITH CORPORATE PROCEDURES;
- b. PARTNERSHIPS OR SOLE PROPRIETORSHIPS - A GENERAL PARTNER OR THE PROPRIETOR, RESPECTIVELY; OR
- c. INDIVIDUALS OR STATE, FEDERAL, OR OTHER PUBLIC AGENCIES - EITHER A PRINCIPAL EXECUTIVE OFFICER OR RANKING ELECTED OFFICIAL, SUCH AS: (1) THE CHIEF EXECUTIVE OFFICER OR SECRETARY OF THE AGENCY, OR (2) A SENIOR EXECUTIVE OFFICER HAVING RESPONSIBILITY FOR THE OVERALL OPERATIONS OF A PRINCIPAL GEOGRAPHIC UNIT OF THE AGENCY (E.G., REGIONAL ADMINISTRATORS OF EPA).
2. ALL REPORTS, PLANS, DOCUMENTS, AND OTHER INFORMATION REQUESTED BY THE GENERAL PERMIT OR REQUESTED BY DEP OR CCD BE SIGNED BY A DULY AUTHORIZED REPRESENTATIVE OF THE PERMITTEE.
3. IF THERE IS A CHANGE IN THE DULY AUTHORIZED REPRESENTATIVE OF THE PERMITTEE OR CO-PERMITTEE, RESPECTIVELY, THE PERMITTEE OR CO-PERMITTEES(S) SHALL NOTIFY DEP OR CCD WITHIN THIRTY (30) DAYS OF THE CHANGE.

- D. TRANSFER/CHANGE OF OWNERSHIP OR CONTROL
1. THIS GENERAL PERMIT IS NOT TRANSFERABLE TO ANY PERSON EXCEPT AFTER NOTICE AND ACKNOWLEDGMENT BY DEP OR CCD.
- a. UPON EVENT OF ANY PENDING CHANGE IN CONTROL OR OWNERSHIP OF FACILITIES FROM WHICH THE AUTHORIZED DISCHARGES EMANATE, THE PERMITTEE OR CO-PERMITTEE SHALL NOTIFY DEP OR CCD USING THE FORM ENTITLED "APPLICATION FOR NPDES OR WQM PERMIT TRANSFER" (TRANSFER APPLICATION (3800-FM-BCH00418)) OF SUCH PENDING CHANGE AT LEAST THIRTY (30) DAYS PRIOR TO THE CHANGE IN OWNERSHIP OR CONTROL.
- b. THE TRANSFER APPLICATION FORM SHALL BE ACCOMPANIED BY A WRITTEN AGREEMENT BETWEEN THE EXISTING PERMITTEE AND THE NEW OWNER OR OPERATOR STATING THAT THE EXISTING PERMITTEE SHALL BE LIABLE FOR VIOLATIONS OF THE PERMIT UP TO AND UNTIL THE DATE OF COVERAGE TRANSFER AND THAT THE NEW OWNER OR OPERATOR SHALL BE JOINTLY AND SEVERALLY LIABLE FOR VIOLATIONS OF THE PERMIT FROM THAT DATE ON.
- c. AFTER RECEIPT OF AN ADMINISTRATIVELY COMPLETE AND ACCEPTABLE TRANSFER APPLICATION FORM, DEP OR CCD SHALL NOTIFY THE EXISTING PERMITTEE AND THE NEW OWNER OR OPERATOR OF ITS DECISION CONCERNING APPROVAL OF THE TRANSFER OF OWNERSHIP OR CONTROL. SUCH REQUESTS SHALL BE DEEMED APPROVED AND THE PERMIT WILL BE CONSIDERED MODIFIED UNLESS DEP OR CCD NOTIFIES THE APPLICANT OTHERWISE WITHIN THIRTY (30) DAYS.
2. DEP OR CCD MAY REQUIRE THE NEW OWNER OR OPERATOR TO APPLY FOR AND OBTAIN AN INDIVIDUAL NPDES PERMIT.
3. FOR PURPOSES OF THIS GENERAL PERMIT, OPERATORS SHALL INCLUDE GENERAL CONTRACTORS, OPERATORS WHO ARE NOT THE PERMITTEE, AND ANY OTHER PERSONS WHO ARE INVOLVED IN CONSTRUCTION ACTIVITIES. THE OWNER IS THE PERMITTEE AND AN OPERATOR/GENERAL CONTRACTOR IS LATER IDENTIFIED TO BECOME A CO-PERMITTEE, THE OWNER SHALL:
- a. COMPLETE AND SUBMIT THE CO-PERMITTEE ACKNOWLEDGEMENT FOR CHAPTER 102 PERMITS FORM (3800-FM-BCH02114) PRIOR TO THE OPERATOR ENGAGING IN EARTH DISTURBANCE ACTIVITIES; AND
- b. ENSURE THAT MONITORING REPORTS AND ANY OTHER INFORMATION REQUESTED UNDER THIS GENERAL PERMIT SHALL REFLECT ALL CHANGES TO THE PERMITTEE AND THE CO-PERMITTEE NAME.
4. AFTER RECEIPT OF THE DOCUMENTATION DESCRIBED IN PARAGRAPH 3 ABOVE, THE PERMIT WILL BE CONSIDERED MODIFIED BY DEP OR CCD WITHIN THIRTY (30) DAYS. FOR THE PURPOSES OF THIS PERMIT, THIS MODIFICATION IS CONSIDERED TO BE A MINOR PERMIT MODIFICATION.
5. UPON AUTHORIZATION OF A CHANGE IN OWNERSHIP OR CONTROL, THE EXISTING PERMITTEE SHALL PROVIDE A COPY OF THE PERMIT AND APPROVED PLANS TO THE NEW OWNER AND/OR CO-PERMITTEE.

- E. REMOVED SUBSTANCES
- SOLIDS, SEDIMENTS, AND OTHER POLLUTANTS REMOVED IN THE COURSE OF TREATMENT OR CONTROL OF STORMWATER SHALL BE DISPOSED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS, IN ORDER TO PREVENT ANY POLLUTANT IN SUCH MATERIALS FROM ADVERSELY AFFECTING PUBLIC HEALTH OR THE ENVIRONMENT.
- F. BMP CONSTRUCTION OPERATION AND MAINTENANCE
- THE PERMITTEE AND CO-PERMITTEES(S) ARE RESPONSIBLE FOR THE DESIGN, INSTALLATION, OPERATION, AND MAINTENANCE OF THE BMPs IDENTIFIED IN THE E&S PLAN, P&M PLAN, AND PFC PLAN.
6. REDUCTION, LOSS, OR FAILURE OF BMP
- IF A REDUCTION, LOSS, OR FAILURE OF ANY BMP, THE PERMITTEE AND CO-PERMITTEES(S) SHALL TAKE IMMEDIATE ACTION TO REPAIR, REPLACE, OR REPLACE THE BMP OR TO PROVIDE AN ALTERNATIVE METHOD OF TREATMENT. SUCH RESTORED BMP OR ALTERNATIVE TREATMENT SHALL BE AT LEAST AS EFFECTIVE AS THE ORIGINAL BMP WHEN PREVIOUSLY INSTALLED. THESE ACTIONS SHALL BE UNDERTAKEN TO ENSURE THAT THERE ARE NO POLLUTANTS OR POLLUTION DISCHARGED TO THE WATERS OF THE COMMONWEALTH. THIS REQUIREMENT IS APPLICABLE IN SITUATIONS WHERE THE BMP IS RENDERED INEFFECTIVE, WHETHER THE CAUSE OR SOURCE OF THE REDUCTION, LOSS OR FAILURE IS WITHIN OR BEYOND THE CONTROL OF THE PERMITTEE OR CO-PERMITTEES(S).

II. COMPLIANCE RESPONSIBILITIES

- A. DUTY TO COMPLY
- THE PERMITTEE AND CO-PERMITTEES(S) MUST COMPLY WITH ALL TERMS AND CONDITIONS OF THIS GENERAL PERMIT. ANY GENERAL PERMIT NON-COMPLIANCE CONSTITUTES A VIOLATION OF PENNSYLVANIA'S CLEAN WATER ACT AND THE FEDERAL CLEAN WATER ACT. SUCH VIOLATIONS MAY BE SUBJECT TO PERMIT TERMINATION, REVOCATION, REISSUANCE, OR MODIFICATION, OR DENIAL OF A PERMIT OR PERMIT RENEWAL. (25 PA. CODE § 102.23(C), § 102.41(A) AND 40 CFR § 122.41(A))
- B. PENALTIES FOR VIOLATIONS OF PERMIT CONDITIONS
- ANY PERSON WHO VIOLATES A GENERAL PERMIT CONDITION, FAILS TO TAKE CORRECTIVE ACTION TO ABATE VIOLATIONS OR FALSIFIES REPORT OR OTHER DOCUMENTS MAY BE SUBJECT TO CRIMINAL AND/OR CIVIL PENALTIES OR OTHER APPROPRIATE ACTION FOR VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT UNDER SECTIONS 602 AND 605 OF PENNSYLVANIA'S CLEAN STREAMS LAW (35 P.S. §§ 610.602 AND 610.605), AND UNDER THE CLEAN WATER ACT AS SPECIFIED IN 40 CFR § 122.41(A)(2) AND (3), WHICH ARE INCORPORATED INTO 25 PA. CODE § 102.41 BY REFERENCE.
- C. NEED TO HALT OR REDUCE ACTIVITY NOT A DEFENSE
- THE PERMITTEE MAY NOT MAINTAIN AS A DEFENSE IN AN ENFORCEMENT ACTION THAT IT WOULD HAVE BEEN NECESSARY TO HALT OR REDUCE THE PERMITTED ACTIVITY IN ORDER TO MAINTAIN COMPLIANCE WITH THE CONDITIONS OF THIS GENERAL PERMIT. (25 PA. CODE § 102.41(A) AND 40 CFR § 122.41(C))
- D. PENALTIES AND LIABILITY
- NOTHING IN THIS GENERAL PERMIT SHALL BE CONSTRUED TO PRECLUDE THE INSTITUTION OF ANY LEGAL ACTION OR TO RELIEVE THE PERMITTEE OR CO-PERMITTEES(S) FROM ANY RESPONSIBILITIES, LIABILITIES, OR PENALTIES TO WHICH THE PERMITTEE OR CO-PERMITTEES(S) MAY BE SUBJECT UNDER FEDERAL, STATE, OR LOCAL LAWS, INCLUDING 33 U.S.C. § 1320 (CERCLA), § 1321 (CWA), OR SECTION 106 OF COMPREHENSIVE ENVIRONMENTAL RESPONSE, COMPENSATION, AND LIABILITY ACT (42 U.S.C.A. § 9606).
- E. PROPERTY RIGHTS
- THIS GENERAL PERMIT DOES NOT CONVEY ANY PROPERTY RIGHTS OF ANY SORT, NOR DOES THIS GENERAL PERMIT CONVEY ANY EXCLUSIVE PRIVILEGES, AND THIS GENERAL PERMIT DOES NOT AUTHORIZE ANY INJURY TO PRIVATE PROPERTY INVASION OF PERSONAL RIGHTS, OR INFRINGEMENT OF FEDERAL, STATE, OR LOCAL LAWS OR REGULATIONS.
- F. SEVERABILITY
- THE PROVISIONS OF THIS GENERAL PERMIT ARE SEVERABLE, AND IF ANY PROVISION OF THIS GENERAL PERMIT, OR THE APPLICATION OF ANY PROVISION OF THIS GENERAL PERMIT TO ANY CIRCUMSTANCE, IS HELD INVALID, THE APPLICATION OF SUCH PROVISION TO OTHER CIRCUMSTANCES AND THE REMAINDER OF THIS GENERAL PERMIT SHALL NOT BE AFFECTED THEREBY.
- G. OTHER LAWS
- NOTHING IN THIS GENERAL PERMIT SHALL BE CONSTRUED TO PRECLUDE THE INSTITUTION OF ANY LEGAL ACTION OR TO RELIEVE THE PERMITTEE OR CO-PERMITTEE FROM ANY RESPONSIBILITIES, LIABILITIES, OR PENALTIES ESTABLISHED PURSUANT TO ANY APPLICABLE STATE LAW OR REGULATION UNDER AUTHORITY PRESERVED BY SECTION 510 OF THE CLEAN WATER ACT (33 U.S.C.A. § 510).
- H. RIGHT OF ENTRY
- PURSUANT TO SECTIONS 50(B) AND 305 OF PENNSYLVANIA'S CLEAN STREAMS LAW (35 P.S. §§ 610.5(B) AND 611.305), 25 PA. CODE CHAPTER 42A, AND SUBCHAPTER 102-N OF THE ADMINISTRATIVE CODE OF 102N, THE PERMITTEE AND CO-PERMITTEE SHALL ALLOW THE SECRETARY OF DEP, THE EPA REGIONAL ADMINISTRATOR, AND/OR AN AUTHORIZED REPRESENTATIVE OF EPA, OR DEP, INCLUDING A DELEGATED CONSERVATION DISTRICT OR, IN THE CASE OF A FACILITY WHICH DISCHARGES TO A MUNICIPAL SEPARATE STORM SEWER, AN AUTHORIZED REPRESENTATIVE OF THE MUNICIPAL OPERATOR OR THE SEPARATE STORM SEWER RECEIVING THE DISCHARGE, UPON THE PRESENTATION OF CREDENTIALS AND OTHER DOCUMENTS, AS MAY BE REQUIRED BY LAW, TO:
1. ENTER UPON THE PERMITTEES OR CO-PERMITTEES PREMISES WHERE A REGULATED FACILITY OR ACTIVITY IS LOCATED OR CONDUCTED OR WHERE RECORDS MUST BE KEPT UNDER THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT;
 2. HAVE ACCESS TO AND COPY, AT REASONABLE TIMES, ANY RECORDS THAT MUST BE KEPT UNDER THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT;
 3. INSPECT ANY FACILITIES OR EQUIPMENT (INCLUDING MONITORING AND CONTROL EQUIPMENT); AND
 4. OBSERVE OR SAMPLE ANY DISCHARGE OF STORMWATER.

- I. AVAILABILITY OF DATA
- EXCEPT FOR DATA DETERMINED TO BE CONFIDENTIAL UNDER SECTION 607 OF THE CLEAN STREAMS LAW (35 P.S. §§ 610.7), ALL REPORTS PREPARED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT SHALL BE AVAILABLE FOR PUBLIC INSPECTION AT THE OFFICES OF DEP OR CCD, AS REQUIRED BY THE CLEAN WATER ACT, THE CLEAN STREAMS LAW, AND DEP'S REGULATIONS AT 25 PA. CODE § 102.8 (RELATING TO CONFIDENTIALITY OF INFORMATION), PERMITS APPLICATIONS/NOIS, PERMITS, AND OTHER DOCUMENTS RELATED TO THIS GENERAL PERMIT SHALL NOT BE CONSIDERED CONFIDENTIAL.
- J. PENALTIES FOR FALSIFICATION OF REPORTS
- SECTION 305(K)(4) OF THE CLEAN WATER ACT (33 U.S.C.A. § 1315(K)(4)) PROVIDES THAT ANY PERSON WHO KNOWINGLY MAKES ANY FALSE MATERIAL STATEMENT, REPRESENTATION, OR CERTIFICATION IN ANY REPORT OR OTHER DOCUMENT SUBMITTED OR REQUIRED TO BE MAINTAINED UNDER THIS GENERAL PERMIT, INCLUDING REPORTS OF COMPLIANCE OR NON-COMPLIANCE SHALL, UPON CONVICTION, BE PUNISHED BY A FINE OF NOT MORE THAN \$10,000 OR, BY IMPRISONMENT FOR NOT MORE THAN TWO (2) YEARS OR BOTH, OR BOTH A FINE AND IMPRISONMENT, IN ADDITION, CRIMINAL SANCTIONS ARE SET FORTH FOR FALSE SWEARING AND UNSWORN FALSIFICATION AT 18 P.A.C.S. §§ 4103-4104.
- K. DUTY TO REAPPLY
- IF THE PERMITTEE WISHES TO CONTINUE AN ACTIVITY REGULATED BY THIS GENERAL PERMIT AFTER THE EXPIRATION DATE OF THIS GENERAL PERMIT, THE PERMITTEE MUST TIMELY APPLY FOR AND OBTAIN COVERAGE UNDER A NEW GENERAL PERMIT. (25 PA. CODE § 102.23(C) AND 102.41(A)(2) AND 40 CFR § 122.41(B))

PART C: OTHER CONDITIONS

- I. PROHIBITION OF NON-STORMWATER DISCHARGES
- ALL DISCHARGES COVERED BY THIS GENERAL PERMIT SHALL BE COMPOSED ENTIRELY OF STORMWATER. DISCHARGES OTHER THAN THOSE AUTHORIZED BY THIS GENERAL PERMIT MUST COMPLY WITH SEPARATE NPDES PERMIT COVERAGE. THE DISCHARGE OF SEWAGE OR INDUSTRIAL WASTE TO BMPs IS NOT PERMITTED.
- II. EROSION AND SEDIMENT CONTROL PLANS
- A. UNLESS OTHERWISE AUTHORIZED BY DEP OR CCD, EARTH DISTURBANCE ACTIVITIES SHALL, TO THE EXTENT PRACTICABLE, BE PLANNED AND IMPLEMENTED TO:
1. MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE.
 2. MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION.

3. MINIMIZE SOIL COMPACTION.
4. UTILIZE OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE THE GENERATION OF INCREASED STORMWATER RUNOFF.
- B. AN E&S PLAN SHALL BE PREPARED AND IMPLEMENTED IN ACCORDANCE WITH THE REQUIREMENTS OF 25 PA. CODE CHAPTER 102 AND BY A PERSON TRAINED AND EXPERIENCED IN E&S CONTROL METHODS AND TECHNIQUES APPLICABLE TO THE SIZE AND SCOPE OF THE PROJECT BEING DESIGNED. EACH E&S PLAN MUST BE SUBMITTED TO AND APPROVED BY DEP OR CCD. THE BMPs SHALL BE DESIGNED TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND SEDIMENTATION IN ORDER TO PROTECT, MAINTAIN, RECLAIM, AND RESTORE WATER QUALITY AND THE EXISTING AND DESIGNATED USES OF THE WATERS OF THIS COMMONWEALTH. VARIOUS BMPs AND THEIR DESIGN STANDARDS ARE LISTED IN THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (DEP ID NO. 3800-FM-BCH0001) AND UPDATED. APPROVED E&S PLANS AND BMPs, AND APPROVED REVISIONS THEREOF, WHICH MEET THE REQUIREMENTS OF 25 PA. CODE CHAPTERS 43, 46 (RELATING TO WATER QUALITY STANDARDS IMPLEMENTATION), AND 102, ARE CONDITIONS OF THIS GENERAL PERMIT AND ARE INCORPORATED BY REFERENCE.

- C. E&S PLANS REQUIRED UNDER THIS GENERAL PERMIT ARE CONSIDERED REPORTS THAT SHALL BE AVAILABLE TO THE PUBLIC UNDER SECTION 607 OF THE CLEAN STREAMS LAW (35 P.S. §§ 610.7) AND 25 PA. CODE CHAPTER 42A. THE OWNER OR OPERATOR OF A FACILITY WITH STORMWATER DISCHARGES COVERED BY THIS GENERAL PERMIT SHALL MAKE E&S PLANS AVAILABLE TO THE PUBLIC UPON REQUEST. THE PERMITTEE SHALL MAINTAIN THE APPROVED E&S PLAN ON-SITE DURING EARTH DISTURBANCE ACTIVITIES AT ALL TIMES AND SHALL MAKE THE PLAN AVAILABLE FOR INSPECTION BY DEP OR CCD UPON REQUEST.
- D. THE APPROVED E&S PLAN, INCLUDING THE STAGING OF EARTH DISTURBANCE ACTIVITIES AND MAINTENANCE REQUIREMENTS, MUST BE FOLLOWED:

- E. UPON THE INSTALLATION OF ALL PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST THREE (3) DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO DEP OR CCD BY PHONE OR ELECTRONIC MAIL.

III. RECYCLING AND DISPOSAL OF BUILDING MATERIALS AND WASTES

ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH DEP'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE CHAPTER 260A (RELATING TO HAZARDOUS WASTE MANAGEMENT), GENERAL, CHAPTER 271 (RELATING TO MUNICIPAL WASTE MANAGEMENT - GENERAL PROVISIONS), AND CHAPTER 287 (RELATING TO MUNICIPAL WASTE MANAGEMENT - GENERAL PROVISIONS). TEMPORARILY STORED BUILDING MATERIAL OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

IV. PREPAREDNESS, PREVENTION AND CONTINGENCY PLANS

- IF TOXIC, HAZARDOUS, OR OTHER POLLUTING MATERIALS WILL BE ON SITE, THE PERMITTEE OR CO-PERMITTEES(S) MUST DEVELOP A PFC PLAN FOR USE WHILE THOSE MATERIALS ARE ON-SITE IN ACCORDANCE WITH 25 PA. CODE § 101.34 (RELATING TO ACTIVITIES UTILIZING POLLUTANTS) AND 102.5(L). THE PFC PLAN SHALL IDENTIFY AREAS WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WASTE MANAGEMENT, STORAGE, AND STORAGE OF HAZARDOUS WASTE, STORAGE AREAS, TEMPORARY STORAGE AREAS, MAINTENANCE AREAS, AND ANY OTHER AREAS THAT MAY HAVE THE POTENTIAL TO CAUSE NON-COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT DUE TO THE STORAGE, HANDLING, OR DISPOSAL OF ANY TOXIC OR HAZARDOUS SUBSTANCES SUCH AS OIL, GASOLINE, PESTICIDES, HERBICIDES, SOLVENTS, OR CONCRETE WASHWATERS. BMPs SHALL BE DEVELOPED AND IMPLEMENTED FOR EACH IDENTIFIED AREA. THE PFC PLAN SHALL BE MAINTAINED ON-SITE AT ALL TIMES AND SHALL BE MADE AVAILABLE FOR REVIEW AT THE REQUEST OF DEP OR CCD.

V. POST-CONSTRUCTION STORMWATER MANAGEMENT PLANS

- A. THE MANAGEMENT OF POST-CONSTRUCTION STORMWATER SHALL, TO THE EXTENT PRACTICABLE, BE PLANNED AND CONDUCTED TO:
1. PRESERVE THE INTEGRITY OF STREAM CHANNELS AND MAINTAIN AND PROTECT THE PHYSICAL, BIOLOGICAL, AND CHEMICAL QUALITIES OF THE RECEIVING STREAM.
 2. PREVENT AN INCREASE IN THE RATE OF STORMWATER RUNOFF.
 3. MINIMIZE ANY INCREASE IN STORMWATER RUNOFF VOLUME.
 4. MINIMIZE IMPERVIOUS AREAS.
 5. MAXIMIZE THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION.
 6. MINIMIZE LAND CLEARING AND GRADING.
 7. MINIMIZE SOIL COMPACTION.
 8. UTILIZE OTHER STRUCTURAL OR NONSTRUCTURAL BMPs THAT PREVENT OR MINIMIZE CHANGES IN STORMWATER RUNOFF.

- B. A P&M PLAN SHALL BE PREPARED AND IMPLEMENTED IN ACCORDANCE WITH THE REQUIREMENTS OF 25 PA. CODE CHAPTER 102 AND BY A PERSON TRAINED AND EXPERIENCED IN P&M DESIGN METHODS AND IN TECHNIQUES APPLICABLE TO THE SIZE AND SCOPE OF THE PROJECT BEING DESIGNED. EACH P&M PLAN MUST BE SUBMITTED TO AND APPROVED BY DEP OR CCD. THE P&M PLAN MUST EMPLOY STORMWATER MANAGEMENT BMPs TO CONTROL THE VOLUME, RATE, AND WATER QUALITY OF THE POST-CONSTRUCTION STORMWATER RUNOFF SO AS TO PROTECT AND MAINTAIN THE CHEMICAL, PHYSICAL, AND BIOLOGICAL INTEGRITY, AND THE EXISTING AND DESIGNATED USES OF THE WATERS OF THIS COMMONWEALTH. APPROVED P&M PLANS AND BMPs, AND APPROVED REVISIONS THEREOF, WHICH MEET THE REQUIREMENTS OF 25 PA. CODE CHAPTERS 43, 46, AND 102, ARE CONDITIONS OF THIS GENERAL PERMIT AND ARE INCORPORATED BY REFERENCE.

- C. P&M PLANS REQUIRED UNDER THIS GENERAL PERMIT ARE CONSIDERED REPORTS THAT SHALL BE AVAILABLE TO THE PUBLIC UNDER SECTION 607 OF THE CLEAN STREAMS LAW (35 P.S. §§ 610.7) AND 25 PA. CODE CHAPTER 42A. THE OWNER OR OPERATOR OF A FACILITY WITH STORMWATER DISCHARGES COVERED BY THIS GENERAL PERMIT SHALL MAKE P&M PLANS AVAILABLE TO THE PUBLIC UPON REQUEST. THE PERMITTEE SHALL MAINTAIN THE AUTHORIZED P&M PLAN ON-SITE DURING EARTH DISTURBANCE ACTIVITIES AT ALL TIMES AND SHALL MAKE THE PLAN AVAILABLE FOR INSPECTION BY DEP OR CCD UPON REQUEST.
- D. A LICENSED PROFESSIONAL, OR THEIR DESIGNEE SHALL BE PRESENT ON-SITE AND SHALL BE RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED P&M PLAN. THE LICENSED PROFESSIONAL WILL BE RESPONSIBLE TO PROVIDE A FINAL CERTIFICATION, PURSUANT TO 25 PA. CODE § 102.24(L) ALONG WITH THE REQUIRED NOT AND RECORD DRAWINGS, INDICATING THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED OR MODIFIED P&M PLAN.

- E. THE PORTION OF A SITE RECLAMATION OR RESTORATION PLAN THAT IDENTIFIES P&M BMPs TO MANAGE STORMWATER FROM RECLAMATION OR RESTORATION PLAN MEETS THE REQUIREMENTS OF 25 PA. CODE § 102.24(B), (C), (E), (F), (H), (I), (L), AND WHEN APPLICABLE, (M).

VI. PRE-CONSTRUCTION MEETINGS

FOR EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS GENERAL PERMIT, A PRE-CONSTRUCTION MEETING IS REQUIRED UNLESS THE PERMITTEE HAS BEEN NOTIFIED OTHERWISE IN WRITING BY DEP OR CCD. THE PERMITTEE SHALL INVITE DEP AND CCD TO ATTEND THE PRE-CONSTRUCTION MEETING AND PROVIDE AT LEAST SEVEN (7) DAYS' NOTICE OF THE PRE-CONSTRUCTION MEETING TO ALL INVITED ATTENDEES. THE PERMITTEE SHALL MAINTAIN THE AUTHORIZED P&M PLAN ON-SITE DURING EARTH DISTURBANCE ACTIVITIES. EARTH DISTURBANCE ACTIVITY, INCLUDING IMPLEMENTATION OF E&S, P&M AND PFC PLANS AND CRITICAL STAGES OF IMPLEMENTATION OF THE APPROVED P&M PLAN, SHALL ATTEND THE PRE-CONSTRUCTION MEETINGS.

VII. SPOIL OR BORROW AREAS

- A. AN E&S PLAN OR OTHER AUTHORIZATION MEETING THE REGULATORY REQUIREMENTS DETAILED IN 25 PA. CODE § 102.4(B) SHALL BE REVIEWED AND APPROVED BY DEP OR CCD AND IMPLEMENTED FOR ALL SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATION.
- B. CLEAN FILL REQUIREMENTS - ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE DEP FORM FP-001 (CERTIFICATION OF CLEAN FILL) TO RECORD THE ORIGIN OF THE FILL, MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIALS AS CLEAN FILL. THE FORM MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL. FILL MATERIAL NOT QUALIFYING AS CLEAN FILL IS REGULATED FILL AND MUST BE MANAGED IN ACCORDANCE WITH DEP'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 271 OR 287, WHICHEVER IS APPLICABLE.

VIII. PHASED PROJECTS

PRIOR TO THE COMMENCEMENT OF EARTH DISTURBANCE ACTIVITIES FOR SUBSEQUENT PHASES OF THE PROJECT, THE PERMITTEE OR CO-PERMITTEES(S) SHALL SUBMIT AN E&S PLAN AND P&M PLAN AND SUPPORTING INFORMATION FOR EACH ADDITIONAL PHASE OR PORTION OF THE PROJECT TO DEP OR CCD FOR APPROVAL. COVERAGE UNDER THIS GENERAL PERMIT IS ONLY GRANTED FOR THOSE AREAS IDENTIFIED IN THE E&S PLAN AND P&M PLAN FOR WHICH AN E&S PLAN AND P&M PLAN HAS BEEN SUBMITTED AND APPROVED BY DEP OR CCD. PERMITTEES AND CO-PERMITTEES WITH PHASES COMMENCED AFTER EXPIRATION OF THIS PA&M-02 GENERAL PERMIT SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FINAL, RENEWED, REISSUED, OR AMENDED GENERAL PERMIT.

IX. WETLAND PROTECTION

IF HYDRIC SOILS OR OTHER WETLAND FEATURES ARE PRESENT, A WETLAND DETERMINATION MUST BE CONDUCTED IN ACCORDANCE WITH APPLICABLE DEP PROCEDURES. A COPY OF ANY WETLAND DETERMINATION CONDUCTED ON THE PROJECT SITE SHALL BE PROVIDED TO DEP OR CCD AS PART OF THE NOI. ALL WETLANDS IDENTIFIED MUST BE INCLUDED ON THE E&S PLAN AND P&M PLAN. SPECIAL PRECAUTIONS MUST BE TAKEN TO PROTECT WETLANDS AND OTHER WATER RESOURCES IDENTIFIED IN THE NOI, PLANS, AND OTHER SUPPORTING DOCUMENTS.

X. INFILTRATION BMPs

THE PERMITTEE AND CO-PERMITTEES(S) SHALL ENSURE THAT SOIL COMPACTION IS AVOIDED OR MINIMIZED IN ANY AREAS WHERE INFILTRATION BMPs WILL BE UTILIZED. IF THE AREAS PLANNED FOR INFILTRATION BMPs ARE COMPROMISED THROUGH COMPACTION OR OTHER MEANS, ADDITIONAL SOIL TESTING MUST BE PERFORMED TO VERIFY THAT THE INFILTRATION BMPs WILL PERFORM AS PLANNED.

XI. STABILIZATION

UPON FINAL COMPLETION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY, OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY, OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE THE CESSATION OF EARTH DISTURBANCE WILL EXCEED FOUR (4) DAYS, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED IN ACCORDANCE WITH THE REQUIREMENTS OF 25 PA. CODE § 102.22(A) OR (B) (RELATING TO SITE STABILIZATION), AS APPLICABLE. E&S BMPs SHALL BE INSTALLED AND MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED. ONCE PERMANENT STABILIZATION HAS BEEN ESTABLISHED THE TEMPORARY E&S BMPs SHALL BE REMOVED. ANY AREAS DISTURBED IN THE ACT OF REMOVING TEMPORARY E&S BMPs SHALL BE PERMANENTLY STABILIZED UPON COMPLETION OF THE TEMPORARY E&S BMP REMOVAL ACTIVITY.

XII. SEWAGE FACILITIES

EARTH DISTURBANCE MAY NOT COMMENCE UNTIL ALL APPLICABLE ACT 931 SEWAGE FACILITIES PLANNING APPROVALS HAVE BEEN OBTAINED.

XIII. LONG-TERM OPERATION AND MAINTENANCE OF P&M BMPs

- A. THE PERMITTEE OR CO-PERMITTEE SHALL

TEMPORARY CONTROL MEASURES

1. **STABILIZED CONSTRUCTION ENTRANCE**
 - a. A STABILIZED PAD OF CRUSHED STONE (AASHTO NO. 1) SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC WILL BE ENTERING AND EXISTING THE SITE. THE STABILIZED CONSTRUCTION ENTRANCE IS USED TO REDUCE OR ELIMINATE THE TRACKING OR FLOWING OF SEDIMENT INTO THE EXISTING TRAVELWAYS AND STREETS BORDERING THE SITE.
 - b. ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK AS NEEDED. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WATER SHALL NOT BE USED TO REMOVE SEDIMENT.
2. **TOPSOIL STOCKPILE**
 - a. A STOCKPILE SHALL BE USED TO CONTAIN ALL STRIPPED TOPSOIL IN A LIMITED AREA IN ORDER TO KEEP DISTURBANCE TO A MINIMUM.
 - b. STOCKPILES SHALL BE IMMEDIATELY STABILIZED WITH A TEMPORARY COVER CROP OF ANNUAL RYEGRASS (1 LB. / 1,000 SQUARE FEET) OF WINTER RYE (3.5 LBS. / 1,000 SQUARE FEET) IN ACCORDANCE WITH ACCEPTED SEEDING PRACTICES.
 - c. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
 - d. STOCKPILES SHALL BE LOCATED WHERE SHOWN ON THE PLANS OR AT AN ALTERNATE LOCATIONS APPROVED BY THE CONSERVATION DISTRICT.
 - e. BEFORE DISPOSING OF SOIL, OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SPOIL OR BORROW AREA HAS AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE COUNTY CONSERVATION DISTRICT, AND WHICH IS BEING IMPLEMENTED AND MAINTAINED ACCORDING TO CHAPTER 102 REGULATIONS.
3. **FILTER SOCK**
 - a. FILTER SOCKS SHALL BE USED TO INTERCEPT SEDIMENT-LADEN RUNOFF FOR SMALL WATERSHEDS.
 - b. FILTER SOCKS SHALL BE INSTALLED IN ACCORDANCE WITH THE MAXIMUM SLOPE TO LENGTH RELATIONSHIPS AS PER MANUFACTURER, PADEP, AND CONSERVATION DISTRICT RECOMMENDATIONS.
 - c. THE CONTRACTOR SHALL MAINTAIN THE SOCK IN A FUNCTIONAL CONDITION AT ALL TIMES, AND IT SHALL BE ROUTINELY INSPECTED.
 - d. THE SOCK SHALL BE ROUTINELY MAINTAINED THROUGHOUT CONSTRUCTION AND REPAIRED WHEN NECESSARY.
 - e. THE CONTRACTOR SHALL REMOVE SEDIMENT COLLECTED AT THE BASE OF THE SOCK WHEN SEDIMENT DEPTHS REACH ONE HALF OF THE EXPOSED HEIGHT OF THE SOCK, OR AS DIRECTED BY INSPECTION AUTHORITIES.
4. **INLET SEDIMENT PROTECTION**
 - a. INLET SEDIMENT PROTECTION SHALL BE UTILIZED AT ALL STORM SEWER INLETS SUSCEPTIBLE TO RECEIVING SEDIMENT LADEN RUNOFF, AND WHICH DO NOT DISCHARGE TO A DESIGNATED SEDIMENT TRAP OR SEDIMENT BASIN.
 - b. THE CONTRACTOR SHALL UTILIZE THE TYPE OF INLET PROTECTION SHOWN ON THE EROSION CONTROL PLANS AND DETAILS. AT THE CONTRACTOR'S DISCRETION, A 60AS TYPEA INLET INSERT MAY BE USED FOR INLET PROTECTION IN ALL PROPOSED PAVED AREAS.
 - c. THE INLET SEDIMENT PROTECTION SHALL BE CHECKED AND FLUSHED, AS REQUIRED, AFTER EACH RAINFALL/RUNOFF EVENT. IF NECESSARY, THE INLET SEDIMENT PROTECTION SHALL BE REPLACED TO ENSURE SEDIMENTS DO NOT ENTER THE STORM SEWER SYSTEM.
 - d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INLET SEDIMENT PROTECTION TO MAINTAIN STORM WATER DRAINAGE, AND TO PREVENT SEDIMENT FROM COLLECTING AROUND THE INLET.
 - e. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM EVENT, OR WHEN THE DISTANCE BETWEEN THE GRATE AND THE SEDIMENT LEVEL IS REDUCED TO 18".
 - f. STORM WATER INLETS, WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS, MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
5. **TEMPORARY SEEDING/MULCHING**
 - a. TEMPORARY SEEDING AND MULCHING SHALL BE APPLIED WHERE INDICATED IN THE NARRATIVE TO PROVIDE STABILIZATION TO EXPOSED AREAS. ALL AREAS WHERE CONSTRUCTION ACTIVITY HAS CEASED SHALL IMMEDIATELY BE SEEDED WITH THE SPECIFIED TEMPORARY SEED MIX.
 - b. STRAW OR HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 3.0 TONS PER ACRE (ENOUGH TO LIGHTLY COVER 75% TO 90% OF THE DESIGNATED AREAS).
 - c. THE TEMPORARY SEEDING/MULCHING SHALL BE AS INDICATED ON THE EROSION AND SEDIMENT CONTROL PLANS, AND AS OUTLINED IN THE SEEDING/MULCHING SECTION OF THIS NARRATIVE.
 - d. MULCH CONTROL NETTING, OR EROSION CONTROL BLANKETS, MUST BE INSTALLED ON ALL SLOPES GREATER THAN 3:1.

PERMANENT CONTROL MEASURES AND FACILITIES

1. **PERMANENT GRASS**
 - a. ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE COVERED WITH GRASS IN ORDER TO MINIMIZE EROSION. THE SEED MIXTURE SHALL BE SPECIFIED OR IT MAY BE HYDRO-SEEDED BY A PERSON EXPERIENCED IN SUCH APPLICATIONS. SEED SHALL BE APPLIED DURING THE REGULAR GROWING SEASON OF THE SPECIES SPECIFIED.
 - b. PERMANENT SEEDING SHALL NOT OCCUR BEFORE APRIL 1 OR AFTER OCTOBER 15. DURING SUMMER APPLICATIONS, THE PERCENTAGE OF HARD SEED IN THE MIX AND THE RATE OF APPLICATION SHALL BE INCREASED. IF SEEDING CANNOT OCCUR DURING THE REGULAR GERMINATION PERIOD, THE EXPOSED AREAS SHALL BE MULCHED AS INDICATED PREVIOUSLY, AND THEN SEEDED WHEN THE GERMINATION PERIOD OCCURS.
 - c. SEED MIXTURE FOR PERMANENT SEEDING BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH SEEDING SCHEDULE ON THE DRAININGS.
 - d. SOIL AMENDMENTS, SUCH AS LIME AND FERTILIZER, SHALL BE APPLIED IN ACCORDANCE WITH A SOIL TEST FOR THE TYPE OF SEED PROPOSED. IN LIEU OF A SOIL TEST, AMENDMENTS SHALL BE APPLIED AT THE RATES SPECIFIED IN THE SEEDING/MULCHING SECTION OF THIS NARRATIVE.
2. **MULCH**
 - a. STRAW MULCH SHALL BE APPLIED TO SEEDING AREAS TO HELP ESTABLISH A PERMANENT GRASS COVER AND TO PREVENT EROSION.
 - b. STRAW OR HAY MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 3.0 TONS PER ACRE (ENOUGH TO LIGHTLY COVER 75% TO 90% OF THE DESIGNATED AREA).
 - c. AREAS MAY BE HYDRO-MULCHED AS AN ALTERNATIVE TO STRAW MULCH, IF DESIRED.
3. **SOD**
 - a. IN AREAS WHERE THE SLOPE IS 2:1 OR GREATER, THE DEVELOPER WILL INSTALL SOD. SOD MATERIAL AND INSTALLATION SHALL CONFORM TO THE GUIDELINE SPECIFICATIONS TO SODDING, BY THE AMERICAN SOD PRODUCERS ASSOCIATION.
 - b. SOD SHALL BE INSTALLED DURING THE REGULAR GROWING SEASON OF THE SEED SPECIES OF WHICH THE SOD IS COMPOSED, OR GENERALLY NOT BEFORE APRIL 1 OR AFTER OCTOBER 15.
4. **EROSION CONTROL MATTING AND WATERCOURSE PROTECTION**
 - a. EROSION CONTROL MATTING SHALL BE USED WHERE INDICATED ON THE PLAN AND AT THE OWNER'S/ CONTRACTOR'S DISCRETION AT ALL AREAS WHERE STABILIZATION APPEARS TO BE DIFFICULT.
 - b. EROSION CONTROL MATTING/WATERCOURSE PROTECTION SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, AND IN ACCORDANCE WITH THE PLAN DETAILS.
 - c. EROSION CONTROL MATTING MAY BE USED ON STEEP SLOPE AREAS IF DISTURBANCE IS TO OCCUR DURING NO-GERMINATING PERIODS AND STABILIZATION APPEARS DIFFICULT.
 - d. EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES GREATER THAN 3:1.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE ACCOMPANYING CONSTRUCTION SEQUENCE/STAGING OF EARTHMOVING ACTIVITIES. EACH STAGE SHALL BE COMPLETED BEFORE A SUBSEQUENT STAGE IS INITIATED. BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES AT LEAST 7 DAYS PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, (THE LANDOWNER, THE EROSION AND SEDIMENTATION CONTROL PLAN DESIGNER, AND A REPRESENTATIVE OF THE COUNTY CONSERVATION DISTRICT FOR AN ON-SITE PRE-CONSTRUCTION MEETING, AS WELL AS AT LEAST 5 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INCORPORATED AT 800-242-1776 TO LOCATE BURIED UTILITIES.
2. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME, AND NAME OF THE PERSON CONDUCTING THE INSPECTION MUST BE NOTED IN THE LOG FOLLOWING EACH INSPECTION. THE INSPECTION LOG WILL BE KEPT ON THE SITE AT ALL TIMES AND MADE AVAILABLE TO THE COUNTY CONSERVATION DISTRICT UPON REQUEST.
3. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY, IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.
4. WHERE BMP'S ARE FOUND TO FAIL TO ALLEVIATE EROSION OR SEDIMENT POLLUTION, THE PERMITTEE OR CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:
 - A. THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND POLLUTION EVENTS.
 - B. ALL STEPS TAKEN TO REDUCE, ELIMINATE, AND PREVENT THE REOCCURENCE OF THE NON-COMPLIANCE.
 - C. THE TIME FRAME TO CORRECT THE NON-COMPLIANT, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
5. ONLY LIMITED UP-SLOPE DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO THE SEDIMENT TRAPS, CONVEYANCE CHANNELS, DIVERSION CHANNELS, AND INTERCEPTOR CHANNELS FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE CONTROLS AS REQUIRED.
6. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.
7. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED.
8. VEHICLES MAY ONLY ENTER AND EXIT AT THE LOCATION OF APPROVED CONSTRUCTION ENTRANCE(S).
9. STOCK PILE HEIGHTS MUST NOT EXCEED 35 FEET NOR SHALL THE SIDE SLOPE EXCEED 2:1.
10. SEDIMENT BASINS/TRAPS MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
11. CLEANOUT STAKES SHALL BE PLACED AT HALF DISTANCES FROM POINTS OF CONCENTRATED INFLOWS INTO BASINS/TRAPS TO OUTLET STRUCTURES. SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATED TO THE CLEAN OUT ELEVATION ON THE STAKES.
12. SILT FENCINGS MUST BE INSTALLED PARALLEL TO EXISTING CONTOURS OR CONSTRUCTED LEVEL ALIGNMENTS. ENDS OF SILT FENCINGS MUST EXTEND 8' TRAVELING UP-SLOPE AT 45 DEGREES TO THE ALIGNMENT OF THE MAIN FENCING SECTION.
13. SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH ONE-HALF THE ABOVE GROUND HEIGHT OF THE SILT FENCINGS.
14. ANY FENCINGS THAT HAS BEEN UNDERMINED OR TOPPED MUST BE REPLACED WITH FILTER OUTLETS IMMEDIATELY.
15. STORM WATER INLETS MUST BE PROTECTED UNTIL THE TRIBUTARY ACRES ARE STABILIZED.
16. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.
17. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED MUST BE SEEDED AND MULCHED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MAY BE SEEDED AND MULCHED WITH A QUICK GROWING TEMPORARY SEEDING MIXTURE AND MULCH AS SPECIFIED.
18. DIVERSIONS, CHANNELS, SEDIMENT TRAPS, AND STOCKPILES MUST BE SEEDED AND MULCHED IMMEDIATELY. THEY SHALL BE CONSTRUCTED FREE OF ROCKS, TREE ROOTS, STUMPS, OR OTHER PROJECTIONS THAT IMPED NORMAL CHANNEL FLOW AND/OR PREVENT GOOD LINING TO SOILS CONTACT. CHANNEL SHALL BE INITIALLY OVER EXCAVATED TO ALLOW FOR THE PLACEMENT OF TOPSOIL.
19. THE APPLICANT WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION, AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROLS AND RELATED ITEMS INCLUDED ON THIS PLAN.
20. THE APPLICANT MUST DEVELOP, AND HAVE APPROVED BY THE COUNTY CONSERVATION DISTRICT, A SEPARATE EROSION AND SEDIMENTATION CONTROL PLAN FOR EACH SPOIL, BORROW, OR OTHER WORK AREA NOT DETAILED ON THE APPROVED PLAN, WHETHER LOCATED WITHIN OR OUTSIDE THE CONSTRUCTION LIMITS. PLAN MUST BE IN COMPLIANCE WITH CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.
21. UNLESS OTHERWISE NOTED, THE LIMITS OF GRADING SHALL BE CONSIDERED THE LIMITS OF DISTURBANCE.
22. SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEDIMENT FROM ON-SITE FLOWS PRIOR TO DISCHARGE OR STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST BE IMMEDIATELY IMPLEMENTED BY THE APPLICANT TO ELIMINATE ALL SUCH PROBLEMS.
23. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
24. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL RESOURCES, SUB-PART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
25. PROTECTION TO EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.
26. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES.
27. BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE COUNTY CONSERVATION DISTRICT.
28. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.
29. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTE IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 2601 ER SEQ. AND 2811 ER SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
30. ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITH EROSION CONTROL BLANKETING (ECB).
31. SEDIMENT REMOVED FROM BMP'S DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE WITH EXISTING SEDIMENT PROTECTION MEASURES IN PLACE AND INCORPORATED INTO THE SITE GRADING.
32. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES, PERMANENT STABILIZATION OF ALL DISTURBED AREAS SHALL OCCUR. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
33. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE COUNTY CONSERVATION DISTRICT FOR A FINAL INSPECTION PRIOR TO REMOVAL OF THE BMP'S.
34. SEDIMENT BASINS/TRAPS SHALL BE KEPT FREE OF ALL TRASH, CONCRETE WASH WATER AND OTHER DEBRIS THAT POSE THE POTENTIAL FOR CLOGGING THE BASIN/TRAP OUTLET STRUCTURES AND/OR POSE THE POTENTIAL FOR POLLUTION TO WATERS OF THE COMMONWEALTH.
35. WHEN SEDIMENT HAS ACCUMULATED TO THE CLEAN OUT ELEVATION ON ANY STAKE, ALL ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE ENTIRE TRAP/BASIN BOTTOM.
36. APPROVAL OF THE USE OF SKIMMER(S) DOES NOT APPROVE USE OF ANY SKIMMER(S) IN VIOLATION OF ANY PATENT, PATENT RIGHTS, AND/OR PATENT LAWS.
37. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 6" LAYERED LIFTS AT 95% DENSITY.
38. A MINIMUM 6" LAYER OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED AREAS PRIOR TO PERMANENT STABILIZATION AND RE VEGETATION.
39. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP'S MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMP'S MUST BE STABILIZED IMMEDIATELY.

FILL DETERMINATION

1. TO DETERMINE WHETHER FILL IS CLEAN OR REGULATED, THE CONTRACTOR MUST PERFORM ENVIRONMENTAL DUE DILIGENCE.

ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATABASE SEARCHES, REVIEW OF OWNERSHIP AND USE HISTORY OF PROPERTY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTINGS, ENVIRONMENTAL ASSESSMENTS OR AUDITS.

 - A) IF DUE DILIGENCE SHOWS NO EVIDENCE OF A RELEASE OF A REGULATED SUBSTANCE, THE MATERIAL MAY BE MANAGED AS CLEAN FILL UNDER DEP'S MANAGEMENT OF FILL POLICY.
 - B) IF DUE DILIGENCE SHOWS EVIDENCE OF A RELEASE, THE MATERIAL MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING MUST BE PERFORMED IN ACCORDANCE WITH THE PENNSYLVANIA DEP BUREAU OF LAND RECYCLING AND WASTE MANAGEMENT'S MANAGEMENT OF FILL POLICY.
 - I. IF TESTING REVEALS THAT THE MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS ESTABLISHED IN DEP'S MANAGEMENT OF FILL POLICY, THE MATERIAL MUST BE MANAGED AS CLEAN FILL.
 - II. IF TESTING REVEALS THAT THE MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT EXCEED THE LIMITS ESTABLISHED IN DEP'S MANAGEMENT OF FILL POLICY, THE MATERIAL MUST BE MANAGED AS REGULATED FILL.

CLEAN FILL IS DEFINED AS, UNCONTAMINATED, NONWATER-SOLUBLE, NONDECOMPOSABLE INERT SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DESTRUCTION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND RECOGNIZABLE AS SUCH (25 PA CODE, SECTIONS 27101 AND 281101). THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE NOTED.

 2. THE CONTRACTOR MAY NOT BLEND OR MIX MATERIALS TO BECOME CLEAN FILL. MATERIALS THAT CONTAIN REGULATED SUBSTANCES THAT ARE INTENTIONALLY RELEASED MAY NOT BE MANAGED UNDER DEP'S MANAGEMENT OF FILL POLICY.

RECYCLING OR DISPOSAL OF MATERIALS

1. PROCEDURES WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH DEPARTMENT REGULATIONS.
2. INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS.
3. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY.
4. THE CONTRACTOR SHALL PLAN AND IMPLEMENT MEASURES FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL DURING CONSTRUCTION.
5. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL. DISPOSAL OF CONSTRUCTION WASTES SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS (25 PA CODE 2601 ET SEQ., 2711E. SEQ. AND 2811 ET SEQ.).

MAINTENANCE

1. ALL SEDIMENT AND EROSION CONTROL FACILITIES SHALL BE CHECKED FOR DAMAGE WEEKLY AND/OR AFTER EACH PRECIPITATION EVENT. ALL FACILITIES THAT ARE DAMAGED, CLOGGED, OR CAN NO LONGER EFFECTIVELY PERFORM THE JOB IN WHICH THEY ARE DESIGNED, SHALL BE REPLACED.
2. ALL SEDIMENT REMOVED FROM SEDIMENT TRAPPING DEVICES SHALL BE DISPOSED OF IN A MANNER THAT WILL NOT CAUSE EROSION OR SEDIMENTATION, AND SHALL BE PLACED IN AN AREAS WITHIN THE DEFINED LIMITS OF DISTURBANCE.
3. ANY PERMANENTLY SEEDDED AREAS THAT BECOME ERODED OR DISTURBED SHALL HAVE THE TOPSOIL REPLACED, THE GRASS RESEEDDED, AND THE MULCH REAPPLIED, OR, AT THE DISCRETION OF THE OWNER, SOD MAY BE INSTALLED.
4. UNTIL THE SITE HAS ACHIEVED FINAL STABILIZATION, THE OWNER AND/OR CONTRACTOR SHALL PROPERLY IMPLEMENT, OPERATE AND MAINTAIN ALL THE BEST MANAGEMENT PRACTICES AND EROSION AND SEDIMENT CONTROL FEATURES. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH RUNOFF EVENT, AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.
5. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF, ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AS INDICATED IN CHAPTER 25 OF THE PENNSYLVANIA CODE.

SITE STABILIZATION

1. UPON COMPLETION OF AN EARTH DISTURBANCE ACTIVITY, OR ANY STAGE OR PHASE OF AN ACTIVITY, THE OPERATOR SHALL IMMEDIATELY STABILIZE THE DISTURBED AREAS TO PROTECT FROM ACCELERATED EROSION DURING NON-GERMINATING PERIODS. MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1-YEAR MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN 1-YEAR, MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.
2. SPREAD TOPSOIL (6") OVER ALL AREAS WHICH HAVE NOT BEEN PAVED (OR WILL NOT BE PAVED) AND ALL AREAS WHICH WERE NOT SEEDDED. FINAL PASSES DURING FINE GRADING SHALL BE MADE AT RIGHT ANGLES TO THE SLOPES. SEED ALL AREAS WITH A PERMANENT SEED MIX AS SPECIFIED, AND PROVIDE MULCH OVER ALL FRESHLY SEEDDED AREAS. ALL SEEDDED AREAS MUST BE MULCHED IMMEDIATELY AFTER SEEDING HAS BEEN COMPLETED.
3. ASSURE SITE STABILIZATION OF ALL AREAS OF THE SITE PRIOR TO REMOVING PATHS AND SEDIMENT CONTROLS. SEED AND MULCH ANY AREAS OF MINIMAL DISTURBANCE RESULTING FROM THE REMOVAL OF EROSION AND SEDIMENT CONTROLS.
4. UNTIL THE SITE HAS ACHIEVED FINAL STABILIZATION, THE OWNER AND/OR CONTRACTOR SHALL PROPERLY IMPLEMENT, OPERATE AND MAINTAIN ALL THE BEST MANAGEMENT PRACTICES. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROL AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.
5. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 10% UNIFORM PERENNIAL VEGETATIVE COVER OF OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.

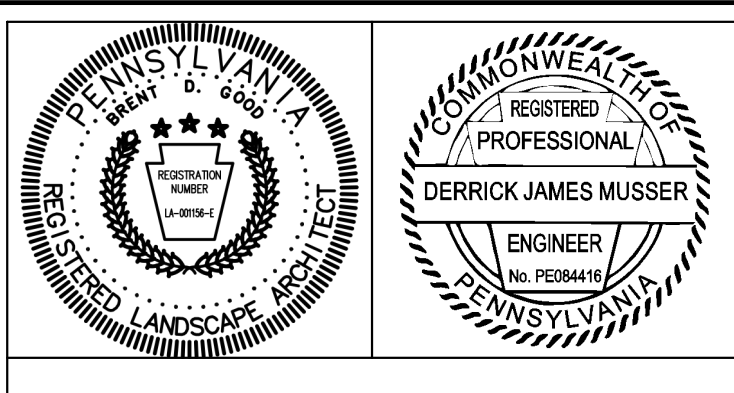
102.4(b)(4) E&S PLANNING AND DESIGN NOTES

1. ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES HAVE BEEN DESIGNED TO THE STANDARDS ESTABLISHED IN THE EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL (PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF WATERWAYS ENGINEERING AND WETLANDS, DIVISION OF WETLANDS, ENCROACHMENT AND TRAINING) FINAL - MARCH 2012 (TECHNICAL GUIDANCE NUMBER 363-2194-008).
2. THIS E&S PLAN MINIMIZES THE EXTENT AND DURATION OF EARTH DISTURBANCES THROUGH THE THOUGHTFUL AND INTENTIONAL SEQUENCING OF CONSTRUCTION ACTIVITIES. THE SEQUENCE OF CONSTRUCTION ATTEMPTS TO MINIMIZE AREAS OF THE SITE THAT ARE OPEN/DISTURBED AT ANY GIVEN TIME AND ENDEAVORS TO PROMOTE THE IMMEDIATE STABILIZATION OF DISTURBED AREAS THROUGH SEEDING/MULCHING AND/OR OTHER STABILIZATION METHODS.
3. THIS E&S PLAN MAXIMIZES THE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION THROUGH THE INSTALLATION OF TREE PROTECTION FENCING AND OTHER PHYSICAL BARRIERS SUCH AS FILTER SOCKS TO HELP DELINEATE CONSTRUCTION AREAS AND TO PREVENT UNNECESSARY OR UNINTENTIONAL ENCROACHMENT.
4. THIS E&S PLAN MINIMIZES SOIL COMPACTION BY PROVIDING UNDISTURBED/SCARIFIED SUBGRADE FOR THE INFILTRATION FACILITY BOTTOM FIELDS AND ALSO THROUGH MINIMIZING DISTURBANCES OUTSIDE OF PROPOSED IMPERVIOUS AREAS.
5. THIS E&S PLAN UTILIZES OTHER MEASURES OR CONTROLS THAT PREVENT OR MINIMIZE THE GENERATION OF INCREASED STORMWATER. THE MAIN MEASURE IS BY PRESERVING EXISTING FLOW PATHS AND ENSURING ALL RUNOFF IS CLEANED USING E&S BMP'S PRIOR TO DISCHARGING TO EXISTING NATURAL DRAINAGE WAYS. SLOPE AND CHANNEL STABILIZATION ALSO HELP MINIMIZE THE GENERATION OF INCREASED STORMWATER AND EROSION.

REVISIONS PER:	DATE:	BY:
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ENGINEERS & LANDSCAPE ARCHITECTS

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CONDITIONAL USE PLAN
SUBJECT:
ESC NOTES
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	AS SHOWN

DRAWING NO.
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CONSTRUCTION SEQUENCE (CRITICAL STAGES OF IMPLEMENTATION IN RED BELOW)

CONSTRUCTION SEQUENCE WILL BE PROVIDED AS PART OF FINAL LAND DEVELOPMENT PLANS AND PADEP NPDES SUBMISSION

SOIL LIMITATIONS AND RESOLUTIONS

THE FOLLOWING RESOLUTIONS ADDRESS TYPICAL ON-SITE SOIL USE LIMITATIONS THAT MAY BE ENCOUNTERED AND GENERIC RESOLUTIONS. A QUALIFIED GEOTECHNICAL PROFESSIONAL SHALL BE CONSULTED DURING APPROPRIATE STAGES/PHASES OF CONSTRUCTION TO EVALUATE, MAKE RECOMMENDATIONS, AND PROVIDE RESOLUTIONS FOR ALL SOIL USE LIMITATIONS, CONSTRUCTION TECHNIQUES, AND OTHER SOILS-RELATED ITEMS.

- SAVING OF CUTBANKS:** EXCAVATIONS SHOULD BE ADEQUATELY SLOPED, BENCHED, OR SUPPORTED TO MINIMIZE COLLAPSE AND TO PROTECT PERSONNEL. ALL EXCAVATIONS SHOULD BE COMPLETED IN ACCORDANCE WITH OSHA REQUIREMENTS.
- CORROSION OF CONCRETE:** GENERALLY NOT WITNESSED DURING CONSTRUCTION AS THIS OCCURS OVER EXTENDED PERIODS OF TIME WHERE SULFATES OF SODIUM, POTASSIUM, CALCIUM OR MAGNESIUM ARE NATURALLY OCCURRING IN THE SOIL OR GROUNDWATER. LOSS OF CONCRETE COHESION AND STRENGTH CAN OCCUR DUE TO REACTIONS WITH HYDRATED COMPOUNDS WITHIN THE HARDENED CEMENT. IF SOILS OR GROUNDWATER ARE FOUND TO CONTAIN SIGNIFICANT AMOUNTS OF THE ABOVE SULFATES, CONCRETE MIXTURES WITH A LOW WATER-TO-CEMENT RATIO AND CEMENT WITH LIMITED AMOUNTS OF TRICALCIUM ALUMINATES SHOULD BE USED. FLY ASH MEETING THE REQUIREMENTS OF ASTM C 610 AND SLAGS MEETING THE REQUIREMENTS OF ASTM C 484 CAN INCREASE THE LIFE EXPECTANCY OF CONCRETE EXPOSED TO SULFATES. CALCIUM CHLORIDE REDUCES SULFATE RESISTANCE, SO IT SHOULD NOT BE USED AS AN ACCELERATING ADMIXTURE.
- CORROSION OF STEEL:** GENERALLY NOT WITNESSED DURING CONSTRUCTION AS THIS OCCURS OVER EXTENDED PERIODS OF TIME, WHERE SOILS ARE HIGH IN CHLORIDES, LOW IN PH, OR WHERE SOILS HAVE HIGH MOISTURE CONTENT, CORROSION OF STEEL IS ACCELERATED. IF ON-SITE SOILS ARE FOUND TO BE HIGH IN CHLORIDES, LOW IN PH, OR HIGH IN MOISTURE AS IS TYPICAL IN CLAYEY SOILS, THE THICKNESS OF THE COATINGS (E.G. HOT-DIPPED GALVANIZED) SHOULD BE INCREASED ACCORDING TO THE RECOMMENDATIONS OF THE AMERICAN IRON AND STEEL INSTITUTE (AISI). SOILS WHERE STEEL IS BURIED OR PRESENT SHOULD BE KEPT DRY, IDEALLY WITH LESS THAN 17.5% MOISTURE CONTENT, MAINTAINING DRY SOILS ALSO PREVENTS CHLORIDES FROM BECOMING CORROSIVE TO STEEL. FINALLY, LINING THE SOIL CAN RAISE THE PH TO 7.0, WHICH IS NOT CONSIDERED CORROSIVE TO STEEL.
- DROUGHT:** DROUGHT VULNERABLE SOILS HAVE AVAILABLE WATER STORAGE WITHIN THE ROOT ZONE FOR COMMODITY CROPS LESS THAN OR EQUAL TO 6". SOIL AMENDMENT/RESTORATION TECHNIQUES MAY BE EMPLOYED TO INCREASE WATER HOLDING CAPACITY. IRRIGATION PRACTICES MAY BE NECESSARY FOR CERTAIN LANDSCAPING APPLICATIONS. PROVIDE DUST SUPPRESSION TECHNIQUES AS NECESSARY OR WHERE REQUIRED.
- EASILY ERODIBLE SOILS:** SITES WITH EASILY ERODIBLE SOILS SHOULD BE SLOPED TO PROMOTE DRAINAGE AWAY FROM WORK AREAS. DISTURBED SOILS SHOULD BE SEALED WITH A SMOOTH DRUM ROLLER EACH DAY AND PRIOR TO PRECIPITATION. NETWORKS OF HAUL/CONSTRUCTION ROADS SHOULD BE ESTABLISHED AND CONSTRUCTION TRAFFIC RESTRICTED TO USING THEM IN ORDER TO KEEP DISTURBANCE MINIMAL. DISTURBED AREAS SHOULD BE SEEDED AND MULCHED IMMEDIATELY.
- DEPTH TO SATURATED ZONE/SEASONAL HIGH WATER TABLE:** IF GROUNDWATER IS ENCOUNTERED DURING TRENCHING PROCEDURES, THE SEDIMENT-LADEN WATER SHALL BE PUMPED TO AN APPROVED SEDIMENT-REMOVAL FACILITY SUCH AS A SILT FILTER BAG AND DISCHARGED AT A STABILIZED POINT OF DISCHARGE.
- FROST ACTION:** FILL AND/OR BACKFILL SHALL NOT BE PLACED ON FROZEN OR SATURATED GROUND.
- HYDRIC/HYDRIC INCLUSIONS:** REFER TO THE SITE PLANS FOR LOCATION(S) OF WETLANDS AND THE APPLICABLE WETLANDS DELINEATION REPORT FOR DETAILED DESCRIPTION OF WETLANDS PRESENT ON SITE. DISTURBANCE WITHIN WETLAND AREAS IS STRICTLY PROHIBITED WITHOUT PADEP AND/OR ARMY CORP AUTHORIZATION.
- LOW STRENGTH/LANDSLIDE PRONE:** STRUCTURAL FILL SHOULD BE PLACED IN LIFTS NOT EXCEEDING 10 INCHES IN LOOSE THICKNESS AND COMPACTED WITH A VIBRATORY ROLLER HAVING A MINIMUM STATIC HEIGHT OF 10 TONS. A MINIMUM OF 5 OVERLAPPING PASSES OF THE ROLLER SHOULD BE COMPLETED ACROSS THE ENTIRETY OF THE BUILDING PAD AND OTHER STRUCTURAL AREAS. IN AREAS WHERE STRUCTURAL FILL IS PLACED AND COMPACTED WITH HAND-OPERATED COMPACTION EQUIPMENT, A MAXIMUM LOOSE LIFT THICKNESS OF 4 INCHES IS RECOMMENDED. FOLLOWING COMPACTION PROCEDURES, PROOF-ROLLING SHOULD BE PERFORMED USING A LOADED, TANDEM-AXLE DUMP TRUCK. ANY LOOSE OR UNSTABLE AREAS ENCOUNTERED DURING PROOF-ROLLING AND COMPACTION SHOULD BE COMPACTED IN PLACE OR REMOVED AND REPLACED WITH STRUCTURAL FILL (AS DEFINED). THE NATIVE ON-SITE STRATUM II SOILS ARE WELL-SUITED FOR USE AS STRUCTURAL FILL AND SHOULD BE USED WHEREVER POSSIBLE. TROUGH QUANTITIES ARE EXPECTED TO BE LIMITED. STRATUM I SOILS MAY BE USED AS STRUCTURAL FILL BUT ARE EXPECTED TO BE MOISTURE SENSITIVE WITH HIGH SILT AND CLAY CONTENT. ALL FILL SHOULD BE PLACED AT, OR DEViate NOMINALLY FROM (1/4" - 2") THE OPTIMUM MOISTURE CONTENT AS DETERMINED IN ACCORDANCE WITH ASTM D1557 AND COMPACTED TO THE MINIMUM PERCENTAGE OF THE SOIL'S MAXIMUM DRY DENSITY, WHICH IS 98%. CAUTION SHOULD BE EXERCISED TO NOT DISTURB FOUNDATION SUBGRADE SOILS. SHOULD THE SUBGRADE BE DISTURBED, THE SOIL SHOULD BE COMPACTED IN PLACE OR REMOVED UNTIL FIRM SOIL IS ENCOUNTERED AND THE RESULTING EXCAVATION BACKFILLED WITH CONCRETE OR CONTROLLED STRUCTURAL FILL. EVERY EFFORT SHOULD BE MADE TO PREVENT WATER FROM ENTERING OPEN EXCAVATIONS. IT IS RECOMMENDED THAT FOOTING EXCAVATION AND PLACEMENT OF FOUNDATION CONCRETE BE PERFORMED ON THE SAME DAY AND DURING FAIR WEATHER CONDITIONS.
- LOW PERCOLATION:** MAINTAIN POSITIVE GRADES ON SIDE AND SLOPE AWAY FROM BUILDINGS TO REDUCE PONDING OF WATER. IN-SITU INFILTRATION TESTING WITHIN INFILTRATION BMPs IS REQUIRED AS PART OF THE CRITICAL STAGES OF PFGM IMPLEMENTATION.
- PIPING:** INCORPORATE ANTI-SEEP COLLARS IN SEDIMENT TRAPS AND BASINS AND ON PFGM BASIN DISCHARGE PIPES. INSTALL TRENCH PLUGS (CLAY DIKES) WITHIN STORM DRAINAGE AND UTILITY TRENCHING.
- POOR SOURCE OF TOPSOIL:** PERFORM SOIL TESTING TO DETERMINE APPROPRIATE SUPPLEMENTATION. SOIL AMENDMENTS AND/OR RESTORATION PRACTICES MAY BE NECESSARY IN ORDER TO ESTABLISH PERMANENT VEGETATIVE STABILIZATION.
- SHRINK-SWELL POTENTIAL:** THE SHRINK-SWELL POTENTIAL IS THE EXTENT TO WHICH THE SOIL SHRINKS AS IT DRIES OR SWELLS AS IT BECOMES WET. THE SHRINK-SWELL POTENTIAL IS INFLUENCED BY THE TYPE AND AMOUNT OF CLAY PRESENT WITHIN THE SOIL. ADDITIONAL GEOTECHNICAL TESTING AND OVERSIGHT SHOULD BE EMPLOYED WHERE STRUCTURAL FILL IS REQUIRED. STRUCTURAL FILL MAY NEED TO BE IMPORTED FROM OFFSITE.
- POTENTIAL FOR SINKHOLE FORMATION:** THE POTENTIAL FOR SINKHOLE FORMATION EXISTS IN ALL AREAS WHERE CARBONATE BEDROCK IS PRESENT AND MAY BE INCREASED WHERE SUBSURFACE DRAINAGE PATTERNS ARE ALTERED. THE PFGM BMPs HAVE BEEN DESIGNED TO MINIMIZE THE RISK FOR SINKHOLE DEVELOPMENT. HOWEVER, DUE TO THE UNPREDICTABLE NATURE OF SINKHOLE FORMATION IT IS NOT POSSIBLE TO ENTIRELY ELIMINATE THE RISK. IN THE EVENT THAT A SINKHOLE IS OBSERVED PRIOR, DURING, OR FOLLOWING CONSTRUCTION A QUALIFIED GEOTECHNICAL PROFESSIONAL SHALL BE CONTACTED TO PROVIDE OVERSIGHT FOR REPAIR.
- PONDING:** PONDING OCCURS IN AREAS WITH COMPACTED OR POORLY DRAINED SOILS WITHOUT POSITIVE DRAINAGE. THE SITE SHOULD BE GRADED TO PROVIDED POSITIVE DRAINAGE TO THE MAXIMUM EXTENT POSSIBLE. DO NOT ALLOW PONDING NEAR STRUCTURAL IMPROVEMENTS OR IN AREAS OF STRUCTURAL FILL. UTILIZE PUMPED WATER FILTER BAGS TO DEWATER EXCAVATIONS AS NECESSARY. SUBSURFACE DRAINAGE (I.E. UNDERDRAINS) SHOULD BE INSTALLED IN AREAS WHERE POST-CONSTRUCTION PONDING IS ANTICIPATED.
- WETNESS:** DUE TO THE HIGH AMOUNT OF FINES (SILT AND CLAY), THE NATIVE ON-SITE SOILS MAY BE MOISTURE SENSITIVE AND DIFFICULT TO PLACE DURING PERIODS OF ADVERSE WEATHER. IN ADDITION, THE OPTIMUM MOISTURE CONTENT IS EXPECTED TO BE SIGNIFICANTLY BELOW THE IN-PLACE MOISTURE CONTENT. THEREFORE, THIS SOIL WILL LIKELY REQUIRE MIXING OR SCARIFYING TO REDUCE THE MOISTURE CONTENT TO ACCEPTABLE LEVELS PRIOR TO PLACEMENT. EVERY EFFORT SHOULD BE MADE TO PREVENT WATER FROM ENTERING OPEN FOUNDATION EXCAVATIONS. ANY WATER WHICH MAY ACCUMULATE IN THE BOTTOMS OF THE EXCAVATIONS SHOULD BE REMOVED IMMEDIATELY. IF WETNESS IS PRESENT DURING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE GEOTECHNICAL PROFESSIONAL FOR FURTHER EVALUATION AND INSTRUCTION. THE GEOTECHNICAL PROFESSIONAL SHALL PROVIDE SITE-SPECIFIC MEASURES TO RESOLVE THE SOIL LIMITATIONS.
- A GEOTECHNICAL PROFESSIONAL IS REQUIRED FOR OBSERVATION AND APPROVAL OF PROOF-ROLLING PROCEDURES, STRUCTURAL FILL PLACEMENT, FOUNDATION SUBGRADE REVIEW, STORM-WATER BASIN BERM CONSTRUCTION, AND ALL CRITICAL EARTHWORK OPERATIONS.

GENERAL WASTE MANAGEMENT NOTES

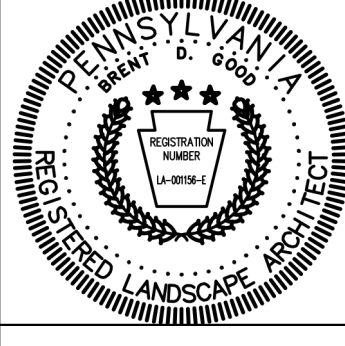
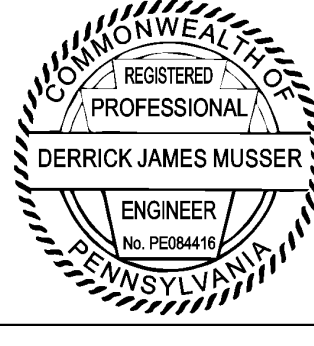
- PROCEDURES WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE, WILL BE UNDERTAKEN IN ACCORDANCE WITH DEPARTMENT REGULATIONS. INDIVIDUALS RESPONSIBLE FOR EARTH DISTURBANCE ACTIVITIES MUST ENSURE THAT PROPER MECHANISMS ARE IN PLACE TO CONTROL WASTE MATERIALS. CONSTRUCTION WASTES INCLUDE, BUT ARE NOT LIMITED TO, EXCESS SOIL MATERIALS, BUILDING MATERIALS, CONCRETE WASH WATER, SANITARY WASTES, ETC. THAT COULD ADVERSELY IMPACT WATER QUALITY. THE CONTRACTOR SHALL PLAN AND IMPLEMENT MEASURES FOR HOUSEKEEPING, MATERIALS MANAGEMENT, AND LITTER CONTROL DURING CONSTRUCTION. WHEREVER POSSIBLE, RECYCLING OF EXCESS MATERIALS IS PREFERRED, RATHER THAN DISPOSAL. DISPOSAL OF CONSTRUCTION WASTES SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS (CHAPTER 25 OF THE PENNSYLVANIA CODE).
- ALL BUILDING MATERIALS AND WASTES THAT ARE REMOVED FROM THE SITE SHALL BE RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE §2801 ET SEQ., §2711 ET SEQ., AND §2871 ET SEQ. NO BUILDING MATERIAL OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DAMPED, OR DISCHARGED AT THE SITE.
- IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE CONTRACTOR, AND SUBJECT TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER. IF THE SITE WILL HAVE EXCESS FILL THAT WILL NEED TO BE EXPORTED TO AN OFF SITE LOCATION, THE RESPONSIBILITY OF CLEAN FILL DETERMINATION AND ENVIRONMENTAL DUE DILIGENCE WILL BE ON THE GEOTECHNICAL ENGINEER, ON BEHALF OF THE APPLICANT.
- DEFINITIONS AND ENVIRONMENTAL DUE DILIGENCE
 - CLEAN FILL: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
 - 4.1.1. FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
 - 4.1.2. ANY PERSON PLACING CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
 - ENVIRONMENTAL DUE DILIGENCE: ACCEPTABLE INVESTIGATIVE TECHNIQUES INCLUDE, BUT ARE NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCES. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL". ENVIRONMENTAL DUE DILIGENCE, INCLUDING ANY SAMPLING, WILL BE CONDUCTED BY THE GEOTECHNICAL ENGINEER, ON BEHALF OF THE APPLICANT.

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ENGINEERS • LANDSCAPE ARCHITECTS

REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE08449
PENNSYLVANIA

CONDITIONAL USE PLAN
SUBJECT:
ESC NOTES
FOR
CHIQUE CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
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BIORETENTION OPERATION AND MAINTENANCE

BMP-2 AND BMP-3

BERM AND SLOPE MAINTENANCE.

- MOW GRASS TO A HEIGHT NOT LESS THAN 4-INCHES. REMOVE GRASS CLIPPINGS.

BOTTOM MAINTENANCE.

- SEE GROWING SEASON MAINTENANCE DETAIL.

INSPECTION ACTIVITY	SCHEDULE
INSPECT FOR EROSION.	MONTHLY 4 FOLLOWINGS EACH HIGH (OR MORE) RAIN EVENT
INSPECT FOR PRESENCE OF LITTER, DEBRIS/CLOGGINGS.	
INSPECT FOR EROSION OR DAMAGE TO VEGETATION, PREFERABLY AT THE END OF THE NET SEASON TO SCHEDULE SUMMER MAINTENANCE AND BEFORE MAJOR FALL RUNOFF TO BE SURE THE STRIPS ARE READY FOR WINTER. HOWEVER, ADDITIONAL INSPECTION AFTER PERIODS OF HEAVY RUNOFF IS DESIRABLE.	
INSPECT TO ENSURE GRASS IS WELL ESTABLISHED. IF NOT, EITHER PREPARE SOIL AND RESEED OR REPLACE WITH ALTERNATIVE SPECIES. INSTALL EROSION CONTROL BLANKET.	EVERY 3 MONTHS (OR AFTER 1" RAIN EVENT)
CHECK FOR DEBRIS AND LITTER, AND AREAS OF SEDIMENT ACCUMULATION AROUND OUTLET STRUCTURE AND WITHIN THE RIPRAP TRENCH.	
INSPECT TO ENSURE FUNCTION OF HYDROBOLM UNDERDRAIN AND STONE DENATURING SYSTEM. WATER SURFACE MUST BE BELOW THE LOWEST ORIFICE.	
INSPECT STONE DENATURING TRENCH FOR DEBRIS AND TRASH	
INSPECT HEALTH OF TREES AND SHRUBS (IF APPLICABLE).	
MAINTENANCE ACTIVITIES	SCHEDULE
WATER PLANTS DAILY FOR 2 WEEKS.	AFTER CONSTRUCTION
REPAIR ERODED AREAS.	MONTHLY 4 FOLLOWINGS EACH HIGH (OR MORE) RAIN EVENT
REMOVE LITTER AND DEBRIS.	
REMOVE SEDIMENT.	
RE-MULCH VOID AREAS (IF APPLICABLE).	
TREAT DISEASED TREES AND SHRUBS.	
MOW SLOPES AND BERM ONLY, TO A LENGTH OF 4'-6".	AS NEEDED
REPAIR EROSION AT INFLOW POINTS.	
REPAIR OUTFLOW STRUCTURES AND RIPRAP APRONS.	
REGULATE SOIL PH.	
REMOVE AND REPLACE DEAD AND DISEASED VEGETATION.	SEMI-ANNUAL (2X5/YR)
REMOVE AND CLEAN OR REPLACE THE DRAINAGE STONE LOCATED IN THE DENATURING TRENCH. IF IT IS FULL OF DEBRIS / SEDIMENT, REMOVE THE STONE IN THE DENATURING TRENCH AND EXPOSE THE UNDERDRAIN PERFORATED PVC PIPE. CLEAN OUT AND CLEAN PERFORATIONS OF PIPE AND REPLACE STONE PER DETAIL.	EVERY 5 YEARS, AS NEEDED
INSPECT BASIN FOR SIGNS OF STANDING WATER. IF STANDING WATER REMAINS FOLLOWING 4 DAYS OF DRY WEATHER SEE STEP 1 BELOW.	ANNUALLY (OR AFTER 1, 24 HOUR RAIN EVENT)
CONTACT A LICENSED PROFESSIONAL WHICH COULD INCLUDE THE TOWNSHIP OR A DESIGN ENGINEER IF A SUBSTANTIAL AMOUNT OF STANDING WATER IS OBSERVED WITHIN THE BASIN AFTER 5 STRAIGHT DRY DAYS.	
THESE AGENCIES WILL DETERMINE IF THE SITUATION CAN BE REMEDIED BY MODIFICATION OF THE OUTLET STRUCTURE, ADDITIONAL STONE BEING INSTALLED ON THE BASIN BOTTOM IN STANDING WATER POCKETS, OR FURTHER OPENINGS OF THE UNDERDRAIN DENATURING SYSTEM.	STEP 1 STANDING WATER OBSERVED
IF THIS PROCESS DOES NOT ALLEVIATE THE STANDING WATER ISSUE, AND IF THE SYSTEM IS NOT FUNCTIONING PER THE DESIGN INTENT, AND UPON GUIDANCE FROM THE LICENSED PROFESSIONAL, PROCEED TO STEP 2.	
BASIN SHALL BE RE-CONSTRUCTED UNDER THE GUIDANCE OF A LICENSED PROFESSIONAL.	STEP 2 FAILURE OF SYSTEM DETERMINED BY LICENSED PROFESSIONAL

GROWING SEASON MAINTENANCE FOR BMP PLANTINGS / ERSNT MIXES

FIRST GROWING SEASON

WHENEVER CANOPY (OVERALL VEGETATION) REACHES A HEIGHT OF 10"-24", USE A BRUSH HOSE MOWER OR STRING TRIMMER TO TRIM THE MEADOW TO A HEIGHT OF 6". (NOTE: A LAWN MOWER IS NOT RECOMMENDED AS THE MOWER HEIGHT WILL BE TOO LOW AND NATIVE SEEDLINGS WILL BE KILLED). THIS WILL REDUCE COMPETITION BY FAST-GROWING WEEDS FOR SUNLIGHT, WATER AND NUTRIENTS NEEDED BY SLOW-GROWING PERENNIAL NATIVES. IF BIOENGINEERING OR CONTAINERIZED WOODY MATERIALS ARE USED ON THE SITE, MOWING SHOULD BE ABOVE THE NEW GROWTH OF THESE MATERIALS. MOWING SHOULD CEASE BY MID-SEPTEMBER. PROBLEM WEEDS SHOULD BE HAND PULLED OR SPOT-SPRAYED WITH AN APPROVED HERBICIDE (SUCH AS ROBOE™).

SECOND GROWING SEASON

PRIOR TO NEW SPRING GROWTH REACHING A HEIGHT OF 2" (E.G. SHORTLY AFTER FORSYTHIA OR REDBUD BLOOMS), TRIM ANY MATERIAL STANDING FROM THE PREVIOUS YEAR CLOSE TO THE GROUND (APPROXIMATELY 2"). THIS WILL ALLOW THE SOIL TO WARM MORE QUICKLY, WHICH WILL STIMULATE THE EMERGENCE AND GROWTH OF NATIVE SEEDLINGS. IT WILL ALSO REDUCE THE LIKELIHOOD OF THE MEADOW BEING INVADED BY SHRUBS. IF BIOENGINEERING OR CONTAINERIZED WOODY MATERIALS WERE USED ON THE SITE OR SEED OF SHRUBS/TREES WERE PART OF THE MIX, THE SITE SHOULD NOT BE TRIMMED AFTER THE ESTABLISHMENT YEAR. PROBLEM WEEDS SHOULD BE HAND PULLED OR SPOT-SPRAYED.

THIRD GROWING SEASON

PRIOR TO NEW SPRING GROWTH REACHING A HEIGHT OF 2" (E.G. SHORTLY AFTER FORSYTHIA OR REDBUD BLOOMS), TRIM ANY MATERIAL STANDING FROM THE PREVIOUS YEAR CLOSE TO THE GROUND (APPROXIMATELY 2"). THIS WILL ALLOW THE SOIL TO WARM MORE QUICKLY, WHICH WILL STIMULATE THE EMERGENCE AND GROWTH OF NATIVE SEEDLINGS. IT WILL ALSO REDUCE THE LIKELIHOOD OF THE MEADOW BEING INVADED BY SHRUBS. IF BIOENGINEERING OR CONTAINERIZED WOODY MATERIALS WERE USED ON THE SITE OR SEED OF SHRUBS/TREES WERE PART OF THE MIX, THE SITE SHOULD NOT BE TRIMMED AFTER THE ESTABLISHMENT YEAR. PROBLEM WEEDS SHOULD BE HAND PULLED OR SPOT-SPRAYED.

AFTER THIRD GROWING SEASON

MOWING AND OTHER MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE THIRD GROWING SEASON MAINTENANCE GUIDELINES (SEE ALSO "GENERAL MAINTENANCE" BELOW FOR ADDITIONAL GUIDANCE).

SPECIAL CIRCUMSTANCES

IF YOU NOTICE A HEAVY INFESTATION OF RAGWEED OR FOXTAIL IN THE SECOND GROWING SEASON, TRIM THE MEADOW TO A HEIGHT OF 6". IF BIOENGINEERING OR CONTAINERIZED WOODY MATERIALS WERE USED, TRIMMING SHOULD BE ABOVE OR AROUND NEW GROWTH OF THE PLANTS. TRIMMING SHOULD CEASE AFTER MID-SEPTEMBER.

GENERAL MAINTENANCE

IN ADDITION TO STRUCTURAL MAINTENANCE, SILTATION NEEDS TO BE REMOVED AS NEEDED. EXCESS MOWING OR EXTENSIVE MECHANICAL USE IS NOT CONDUCTIVE TO WATER QUALITY IMPROVEMENT AND WILDLIFE HABITAT.

SITESAVER OPERATION AND MAINTENANCE

SITESAVER MANUFACTURER'S INSTRUCTION MANUAL

REGULAR INSPECTIONS ARE RECOMMENDED TO ENSURE THAT THE SYSTEM IS FUNCTIONING AS DESIGNED. PLEASE CONTACT YOUR AUTHORIZED SITESAVER REPRESENTATIVE IF YOU HAVE QUESTIONS REGARDING THE INSPECTION AND MAINTENANCE OF THE SITESAVER SYSTEM. SITESAVER DOES NOT REQUIRE ENTRY INTO THE SYSTEM FOR MAINTENANCE. HOWEVER, IT IS PRUDENT TO NOTE THAT PRIOR TO ENTRY INTO ANY UNDERGROUND STORM SEWER OR UNDERGROUND STRUCTURE, APPROPRIATE OSHA AND LOCAL SAFETY REGULATIONS AND GUIDELINES SHOULD BE FOLLOWED.

INSPECTION SCHEDULING

THE FREQUENCY OF INSPECTIONS AND MAINTENANCE IS DEPENDENT ON SITE SPECIFIC LOADING CONDITIONS AND RAINFALL FREQUENCY. WITHIN THE FIRST YEAR OF OPERATION, IT IS RECOMMENDED THAT THE UNIT BE INSPECTED QUARTERLY TO DETERMINE THE RATE OF POLLUTANT ACCUMULATION IN ORDER TO DEVELOP A MORE ACCURATE MAINTENANCE SCHEDULE. SITESAVER SYSTEMS ARE RECOMMENDED FOR INSPECTION WHENEVER THE UPSTREAM AND DOWNSTREAM CATCH BASINS AND STORMWATER PIPES OF THE STORMWATER COLLECTION SYSTEM ARE INSPECTED OR MAINTAINED. THIS WILL MINIMIZE THE COST OF THE INSPECTION IF IT IS DONE AT THE SAME TIME THE MUNICIPAL CREWS ARE VISITING THE AREA.

INSPECTION PROCESS

INSPECTIONS SHOULD BE DONE SUCH THAT A SUFFICIENT TIME HAS LAPSED SINCE THE MOST RECENT RAIN EVENT TO ALLOW FOR A STATIC WATER CONDITION. VISUALLY INSPECT THE SYSTEM AT ALL MANHOLE AND ACCESS OPENING LOCATIONS. FOR DEBRIS ACCUMULATION, VISUALLY INSPECT THE NETTING OR SCREENING BASKET COMPONENTS (IF UTILIZED) TO DETERMINE THE BAG OR BASKET CAPACITY. NETS OR BASKETS CONTAINING ONLY MINOR QUANTITIES OF DEBRIS MAY BE RETAINED IN PLACE. IT IS RECOMMENDED TO REPLACE THE NETS OR CLEAN THE SCREENING BASKETS WHEN THEY APPEAR 1/2 - 2/3 FULL. FAILURE TO REPLACE NETS AND/OR REMOVE FLOATABLES FROM BYPASS SCREENING (IF APPLICABLE) WILL LEAD TO HYDRAULIC RELIEF, DRAIN/DOME DEFICIENCIES, AND DECREASE THE LONG-TERM FUNCTIONALITY OF THE SYSTEM.

FOR SEDIMENT ACCUMULATION, UTILIZE EITHER A SLUDGE SAMPLER OR A SEDIMENT POLE TO MEASURE AND DOCUMENT THE AMOUNT OF SEDIMENT ACCUMULATION. THE AMOUNT OF SEDIMENT IN THE SYSTEM WITH A SLUDGE SAMPLER FOLLOW THE MANUFACTURER'S INSTRUCTIONS. IF UTILIZING A SEDIMENT POLE, FIRST INSERT THE POLE TO THE TOP OF THE SEDIMENT LAYER AND RECORD THE DEPTH. THEN, INSERT THE POLE TO THE BOTTOM OF THE SYSTEM AND RECORD THE DEPTH. THE DIFFERENCE IN THE TWO MEASUREMENTS CORRESPONDS TO THE AMOUNT OF SEDIMENT IN THE SYSTEM. FINALLY, INSPECT THE INLET PIPE OPENING TO ENSURE THAT THE SILT LEVEL OR ANY FOREIGN OBJECTS ARE NOT BLOCKING THE PIPE.

SITESAVER UNITS CAN ALSO BE INSTALLED WITH REMOTE MONITORING TECHNOLOGY THAT MEASURES THE CURRENT CAPACITY OF TRASH AND DEBRIS CONTAINED WITHIN THE SYSTEM AND REPORTS THE DATA TO ANY INTERNET DEVICE TO DECREASE THE AMOUNT OF PHYSICAL INSPECTIONS REQUIRED. IF A REMOTE MONITORING DEVICE IS USED, PROPER MAINTENANCE AND RECORD KEEPING OF BATTERIES, CLEANING SENSOR, ETC. NEEDS TO BE COMPLETED TO ENSURE FUNCTIONALITY OF THE REMOTE MONITORING TECHNOLOGY.

MAINTENANCE PROCESS - DEBRIS REMOVAL

MAINTENANCE SHOULD BE DONE UTILIZING PROPER PERSONAL PROTECTIVE EQUIPMENT SUCH AS: SAFETY GLASSES, HARD-HAT, GLOVES, FIRST AID KIT, ETC. MAINTENANCE SHOULD OCCUR ONLY WHEN A SUFFICIENT TIME HAS LAPSED SINCE THE MOST RECENT RAIN EVENT TO ALLOW FOR A STATIC WATER CONDITION FOR THE DURATION OF THE MAINTENANCE PROCESS.

IN THE CASE THAT ONLY TRASH AND FLOATABLES NEED TO BE REMOVED, AND A NETTING CONFIGURATION OR A REMOVABLE SCREENING BASKET IS UTILIZED, A VACUUM TRUCK IS NOT REQUIRED. HOWEVER, A VACUUM TRUCK IS REQUIRED IF A FIXED SCREENING BASKET CONFIGURATION IS UTILIZED. IF THE MAINTENANCE EVENT IS TO INCLUDE OIL REMOVAL AND/OR SEDIMENT REMOVAL, A VACUUM TRUCK OR SIMILAR EQUIPMENT WOULD BE NEEDED.

MAINTENANCE PROCESS - DEBRIS REMOVAL FOR NETTING CONFIGURATIONS

FOR FLOATABLE DEBRIS REMOVAL WHEN A NETTING BAG IS UTILIZED, LIFT THE NETTING BAG BY THE FRAME, MOVING IT UPWARDS ALONG THE NETTING SUPPORT FRAME TO EASE LIFTING THE NETS TO THE SURFACE. GAFF HOOKS OR A SERVICE VEHICLE (GRABBER/BOOM TRUCK) MAY BE USED. SLOWLY RAISE THE NETTING FRAME ALLOWING WATER IN THE NET TO DRAIN AS IT IS RAISED TO ALLOW IT TO DRIP DRY. ONCE THE NETTING COMPONENT IS FULLY REMOVED FROM THE SYSTEM, IT SHOULD BE PROPERLY DISPOSED OF PER LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS. TYPICALLY, THE NETTING COMPONENT CAN BE DISPOSED OF IN A COMMON DUMPSTER RECEIPTABLE.

MAINTENANCE PROCESS - DEBRIS REMOVAL FOR REMOVABLE BASKET CONFIGURATIONS FOR FLOATING DEBRIS REMOVAL WHEN A REMOVABLE BASKET IS UTILIZED, REMOVE THE SCREENING BASKET BY LIFTING THE BASKET SLOWLY MOVING UPWARDS ALONG THE SUPPORT FRAME. ONCE THE SCREENING BASKET IS FULLY REMOVED FROM THE SITESAVER SYSTEM, EMPTY THE BASKET INTO A DUMPSTER RECEIPTABLE BY EITHER TIPPING THE UNIT SO THE DEBRIS FALLS OUT THE MOUTH OF THE BASKET OR RELEASE THE BOTTOM LATCH IN THE BASKET. THE LATCH OPENS THE BOTTOM SECTION OF THE BASKET TO DROP DEBRIS INTO THE RECEIPTABLE. AFTER THE BASKET HAS BEEN EMPTIED, ENSURE THAT ALL LATCHES ARE SECURED PRIOR TO PLACING THE BASKET BACK INTO THE SITESAVER SYSTEM. PLACE THE BASKET BACK INTO THE SITESAVER SYSTEM BY SLIDING THE NETTING FRAME DOWN THE SUPPORT FRAME. REMOVABLE BASKET CONFIGURATIONS CAN ALSO BE MAINTAINED WITHOUT REMOVING THE SCREENING BASKET FROM THE SITESAVER. IF ELECTING TO PERFORM MAINTENANCE WITHOUT REMOVING THE BASKET, SEE THE MAINTENANCE PROCESS FOR FIXED BASKET CONFIGURATIONS BELOW.

MAINTENANCE PROCESS - DEBRIS REMOVAL FOR FIXED BASKET CONFIGURATIONS

FOR FLOATABLE DEBRIS REMOVAL WHEN A FIXED BASKET IS UTILIZED, A VACUUM TRUCK, OR SIMILAR TRAILER MOUNTED EQUIPMENT CAN BE USED TO REMOVE THE DEBRIS. UNLATCH THE TOP SECTION OF THE SCREENING BASKET AND LIFT TO ACCESS THE INSIDE OF THE BASKET. TAKE THE VACUUM HOSE AND REMOVE ALL DEBRIS FROM INSIDE OF THE BASKET. AFTER THE BASKET HAS BEEN EMPTIED, ENSURE THAT THE TOP SECTION OF THE SCREENING BASKET IS CLOSED, AND ALL LATCHES ARE SECURED.

MAINTENANCE PROCESS - SEDIMENT REMOVAL

FOR SEDIMENT REMOVAL, THE SITESAVER IS DESIGNED WITH CLEAR ACCESS AT BOTH THE INLET AND OUTLET. A VACUUM TRUCK, OR SIMILAR TRAILER MOUNTED EQUIPMENT, CAN BE USED TO REMOVE THE SEDIMENT, HYDROCARBONS, AND WATER WITHIN THE UNIT. FOR MORE EFFECTIVE REMOVAL, IT IS RECOMMENDED TO USE SEWER JETTING EQUIPMENT OR A SPECIAL LANCE TO FORCE THE SEDIMENT TO THE VACUUM TRUCK. WHEN THE FLOOR IS SUFFICIENTLY CLEANED, FILL THE SYSTEM BACK TO ITS NORMAL WATER ELEVATION (TO THE PIPE INVERTS).

MAINTENANCE PROCESS - NET REPLACEMENT

INSTALL A NEW NET ASSEMBLY BY SLIDING THE NETTING FRAME DOWN THE SUPPORT FRAME AND ENSURE THE NETTING LAYS OVER THE PLATE ASSEMBLY SUCH THAT THE NETTING IS NOT RESTRICTED. TO ORDER ADDITIONAL DISPOSABLE NETS, CONTACT YOUR LOCAL SITESAVER REPRESENTATIVE. NEW NETS COME WITH THE WRAPS TEMPORARILY HOLDING THE NET MATERIAL TO THE FRAME COMPONENT FOR EASY HANDLING AND STORAGE. IT IS NOT RECOMMENDED TO REMOVE THE TIE WRAPS UNTIL THE NET IS READY TO BE INSTALLED. THE FRAME IS TAPERED FROM TOP (WIDEST PART) TO BOTTOM, AND IS ALSO TAPERED FROM FRONT (TOWARDS THE SEWER) TO BACK. CUT THE TIE WRAPS THAT SECURE THE NETTING MATERIAL TO THE FRAME FOR SHIPMENT AND LOWER THE NET DOWN THE GUIDE RAILS. IF DEBRIS HAS ACCUMULATED IN THE NET SUPPORT FRAME, REMOVE THE OBJECTS SO THE NEW NET SEATS FULLY IN THE CHANNEL WHEN INSTALLED.

- WHEN LOWERING THE NET, THE FOLLOWING DETAILS SHOULD BE EXERCISED WHEN PLACING THE NET:
 - MATCH THE LOWERING TO MAKE SURE THAT THERE ARE NO UNEXPECTED ENTANGLEMENTS.
 - BE CAREFUL NOT TO LET THE TOE OF THE NET GET CAUGHT UNDER THE FRAME WHEN IT REACHES THE BOTTOM OF THE SUPPORT FRAME. THIS IS TYPICALLY ACCOMPLISHED BY HOLDING THE TOE OF THE NET UNTIL AFTER THE NET HAS STARTED TO PROP INTO PLACE.
 - ENSURE THE NETTING LAYS OVER THE PLATE ASSEMBLY SUCH THAT THE NETTING IS NOT RESTRICTED.

MAINTENANCE PROCESS - CLEAN UP, DISPOSAL, AND DOCUMENTATION

COMPLETE A POST MAINTENANCE INSPECTION TO ENSURE THAT ALL COMPONENTS HAVE BEEN REPLACED AND ARE PROPERLY SECURED WITHIN THE SITESAVER DEVICE. IT IS A GOOD PRACTICE TO TAKE TIME STAMPED PHOTOGRAPHS AFTER EVERY MAINTENANCE EVENT TO INCLUDE WITHIN MAINTENANCE LOGS. AFTER VERIFYING ALL COMPONENTS, SECURE THE ACCESS OPENINGS AND ENSURE PROPER DISPOSAL OF ALL POLLUTANTS REMOVED DURING MAINTENANCE PER LOCAL, STATE, AND FEDERAL GUIDELINES. PROOF OF INSPECTIONS AND MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER. ALL INSPECTION REPORTS AND DATA SHOULD BE KEPT ON SITE OR AT A LOCATION WHERE THEY WILL BE ACCESSIBLE FOR YEARS IN THE FUTURE. SOME MUNICIPALITIES REQUIRE THESE INSPECTION AND CLEANING REPORTS TO BE FORWARDED TO THE PROPER GOVERNMENTAL PERMITTING AGENCY ON AN ANNUAL BASIS. REFER TO YOUR LOCAL AND NATIONAL REGULATIONS FOR ANY ADDITIONAL MAINTENANCE REQUIREMENTS AND SCHEDULES NOT CONTAINED HEREIN. INSPECTIONS SHOULD BE A PART OF THE STANDARD OPERATING PROCEDURE. IT IS GOOD PRACTICE TO KEEP RECORDS OF RAINFALL EVENTS BETWEEN MAINTENANCE EVENTS AND THE WEIGHT OF MATERIAL REMOVED, EVEN IF NO REPORT IS REQUIRED.

STORMTRAP OPERATION AND MAINTENANCE

INTRODUCTION

REGULAR INSPECTIONS ARE RECOMMENDED TO ENSURE THAT THE SYSTEM IS FUNCTIONING AS DESIGNED. PLEASE CALL YOUR AUTHORIZED STORMTRAP REPRESENTATIVE IF YOU HAVE QUESTIONS IN REGARDS TO THE INSPECTION AND MAINTENANCE OF THE STORMTRAP SYSTEM. PRIOR TO ENTRY INTO ANY UNDERGROUND STORM SEWER OR UNDERGROUND DETENTION SYSTEMS, APPROPRIATE OSHA AND LOCAL SAFETY REGULATIONS AND GUIDELINES SHOULD BE FOLLOWED.

INSPECTION SCHEDULES FOR MUNICIPALITIES

STORMTRAP STORMWATER MANAGEMENT SYSTEMS ARE RECOMMENDED FOR INSPECTION WHENEVER THE UPSTREAM AND DOWNSTREAM CATCH BASINS AND STORMWATER PIPES OF THE STORMWATER COLLECTION SYSTEM ARE INSPECTED OR MAINTAINED. THIS WILL ECONOMIZE THE COST OF THE INSPECTION IF IT IS DONE AT THE SAME TIME THE MUNICIPAL CREWS ARE VISITING THE AREA.

INSPECTION SCHEDULES FOR PRIVATE DEVELOPMENT

STORMTRAP STORMWATER MANAGEMENT SYSTEMS, FOR A PRIVATE DEVELOPMENT, ARE RECOMMENDED FOR INSPECTION AFTER EACH MAJOR STORM WATER EVENT. AT A MINIMUM, UNTIL A CLEANING SCHEDULE CAN BE ESTABLISHED, AN ANNUAL INSPECTION IS RECOMMENDED. IF INSPECTED ON AN ANNUAL BASIS, THE INSPECTION SHOULD BE CONDUCTED BEFORE THE STORMWATER SEASON BEGINS TO BE SURE THAT EVERYTHING IS FUNCTIONING PROPERLY FOR THE UPCOMING STORM SEASON.

INSPECTION PROCESS

INSPECTIONS SHOULD BE DONE SUCH THAT AT LEAST 2-3 DAYS HAS LAPSED SINCE THE MOST RECENT RAIN EVENT TO ALLOW FOR DRAINING AND STABILIZATION OF THE SYSTEM AT ALL MANHOLE LOCATIONS. UTILIZING A SEDIMENT POLE, MEASURE AND DOCUMENT THE AMOUNT OF SILT AT EACH MANHOLE LOCATION (FIGURE 1). INSPECT EACH PIPE OPENING TO ENSURE THAT THE SILT LEVEL OR ANY FOREIGN OBJECTS ARE NOT BLOCKING THE PIPES. BE SURE TO INSPECT THE OUTLET PIPES) BECAUSE THIS IS TYPICALLY THE SMALLEST PIPE IN THE SYSTEM. IT IS COMMON THAT MOST OF THE LARGER MATERIALS WILL BE COLLECTED UPSTREAM OF THE SYSTEM IN CATCH BASINS, AND IT IS THEREFORE IMPORTANT AT TIME OF INSPECTIONS TO CHECK THESE STRUCTURES FOR LARGE TRASH OR BLOCKAGES.

REMOVE ANY BLOCKAGES IF YOU CAN DURING THE INSPECTION PROCESS ONLY IF YOU CAN DO SO SAFELY FROM THE TOP OF THE SYSTEM WITHOUT ENTERING INTO THE SYSTEM. DO NOT GO INTO THE SYSTEM UNDER ANY CIRCUMSTANCES WITHOUT PROPER VENTILATION EQUIPMENT AND TRAINING. PASS ANY INFORMATION REQUIRING ACTION ON TO THE APPROPRIATE MAINTENANCE PERSONNEL IF YOU CANNOT REMOVE THE BLOCKAGES FROM ABOVE DURING THE INSPECTION PROCESS. BE SURE TO DESCRIBE THE LOCATION OF EACH MANHOLE AND THE TYPE OF MATERIAL THAT NEEDS TO BE REMOVED.

THE SEDIMENT LEVEL OF THE SYSTEM SHOULD ALSO BE MEASURED AND RECORDED DURING THE INSPECTION PROCESS. RECORDING THE SEDIMENT LEVEL AT EACH MANHOLE IS VERY IMPORTANT IN ORDER TO GET A HISTORY OF SEDIMENT THAT CAN BE GRAPHED OVER TIME (I.E. YEARS) IN ORDER TO ESTIMATE WHEN THE SYSTEM WILL NEED TO BE MAINTAINED NEXT. IT IS ALSO IMPORTANT TO KEEP THESE RECORDS TO VERIFY THAT THE INSPECTION PROCESS HAS ACTUALLY PERFORMED IF ANYONE ASKS FOR YOUR RECORDS IN THE FUTURE.

THE SEDIMENT LEVEL IN THE UNDERGROUND DETENTION SYSTEM CAN BE DETERMINED FROM THE OUTSIDE OF THE SYSTEM BY OPENING UP ALL THE MANHOLES AND USING A SEDIMENT POLE TO MEASURE THE AMOUNT OF SEDIMENT AT EACH LOCATION. FORCE THE STICK TO THE BOTTOM OF THE SYSTEM AND THEN REMOVE IT AND MEASURE THE AMOUNT OF SEDIMENT THAT LOCAL OCCUPATIONAL SAFETY AND HEALTH REGULATIONS. IN CIRCUMSTANCES WITHOUT PROPER VENTILATION EQUIPMENT AND TRAINING.

WHEN TO CLEAN THE SYSTEM

ANY BLOCKAGES SHOULD BE SAFELY REMOVED AS SOON AS PRACTICAL SO THAT THE STORMWATER DETENTION SYSTEM WILL FILL AND DRAIN PROPERLY BEFORE THE NEXT STORMWATER EVENT.

THE DRY DETENTION SYSTEM SHOULD BE COMPLETELY CLEANED WHENEVER THE SEDIMENT OCCUPIES MORE THAN 10% TO 15% OF THE ORIGINALLY DESIGNED SYSTEMS VOLUME. THE NET DETENTION SYSTEM SHOULD BE CLEANED WHEN THE SEDIMENT OCCUPIES MORE THAN 30% OR 1/3RD OF THE ORIGINALLY DESIGNED SYSTEMS VOLUME. NOTE: CHECK WITH YOUR MUNICIPALITY IN REGARDS TO CLEANING CRITERIA, AS THE ALLOWABLE SEDIMENT BEFORE CLEANING MAY BE MORE OR LESS THEN DESCRIBED ABOVE.

HOW TO CLEAN THE STORMTRAP

THE SYSTEM SHOULD BE COMPLETELY CLEANED BACK TO 100% OF THE ORIGINALLY DESIGNED STORAGE VOLUME WHENEVER THE ABOVE SEDIMENT LEVELS HAVE BEEN REACHED. BE SURE TO WAIT AT LEAST 3 DAYS AFTER A STORMWATER EVENT TO BE SURE THAT THE SYSTEM IS COMPLETELY DRAINED (IF IT IS A DRY DETENTION SYSTEM), AND ALL OF THE SEDIMENTS HAVE SETTLED TO THE BOTTOM OF THE SYSTEM (IF IT IS A WET DETENTION SYSTEM).

DO NOT ENTER THE SYSTEM UNLESS YOU ARE PROPERLY TRAINED, EQUIPPED, AND QUALIFIED TO ENTER A CONFINED SPACE AS IDENTIFIED BY LOCAL OCCUPATIONAL SAFETY AND HEALTH REGULATIONS.

THERE ARE MANY MAINTENANCE COMPANIES THAT ARE IN BUSINESS TO HELP YOU CLEAN YOUR UNDERGROUND STORMWATER DETENTION SYSTEMS AND WATER QUALITY UNITS. PLEASE CALL YOUR STORMTRAP REPRESENTATIVE FOR REFERRALS IN YOUR AREA.

A. DRY DETENTION SYSTEM CLEANING

MAINTENANCE IS TYPICALLY PERFORMED USING A VACUUM TRUCK. SEDIMENT SHOULD BE FLUSHED TOWARDS A VACUUM HOSE FOR THOROUGH REMOVAL. FOR A DRY DETENTION SYSTEM, REMOVE THE MANHOLE COVER AT THE TOP OF THE SYSTEM AND LOWER A VACUUM HOSE INTO ONE OF THE ROOFS OF THE STORMTRAP SYSTEM. OPEN UP THE MANHOLE AT THE OPPOSITE END OF THE STORMTRAP AND USE SEWER JETTING EQUIPMENT TO FORCE WATER IN THE SAME ROW FROM ONE END OF THE STORMTRAP ROW TO THE OPPOSITE SIDE. THE ROOFS OF THE STORMTRAP ARE COMPLETELY OPEN IN ONE CONTIGUOUS CHANNEL FROM ONE END TO THE OTHER FOR EASY CLEANING.

PLACE THE VACUUM HOSE AND THE SEWER JETTING EQUIPMENT IN THE NEXT ROW AND REPEAT THE PROCESS UNTIL ALL OF THE ROWS HAVE BEEN CLEANED.

WHEN FINISHED, REPLACE ALL COVERS THAT WERE REMOVED AND DISPOSE OF THE COLLECTED MATERIAL PROPERLY.

B. WET DETENTION SYSTEM CLEANING

IF THE SYSTEM WAS DESIGNED TO MAINTAIN A PERMANENT POOL OF WATER, FLOATABLES AND ANY OIL SHOULD BE REMOVED IN A SEPARATE PROCEDURE PRIOR TO THE REMOVAL OF ALL SEDIMENT.

THE FLOATABLE TRASH IS REMOVED FIRST BY USING A BUCKET STRAINER TO CAPTURE AND REMOVE ANY FLOATING DEBRIS.

THE FLOATABLE OILS ARE THEN REMOVED OFF THE TOP OF THE WATER BY USING THE VACUUM TRUCK TO SUCK OFF ANY FLOATABLE FLUIDS AND LIQUIDS.

THE NEXT STEP IS TO USE THE VACUUM TRUCK TO GENTLY REMOVE THE CLARIFIED WATER ABOVE THE SEDIMENT LAYER.

THE FINAL STEP IS TO CLEAN THE SEDIMENT FOR EACH ROW AS DESCRIBED ABOVE IN THE PARAGRAPH 6A. DRY DETENTION SYSTEM CLEANING. FOR SMALLER SYSTEMS, THE VACUUM TRUCK CAN REMOVE ALL OF THE SEDIMENT IN THE BASIN WITHOUT USING THE SEWER JETTING EQUIPMENT BECAUSE OF THE SMALLER SPACE.

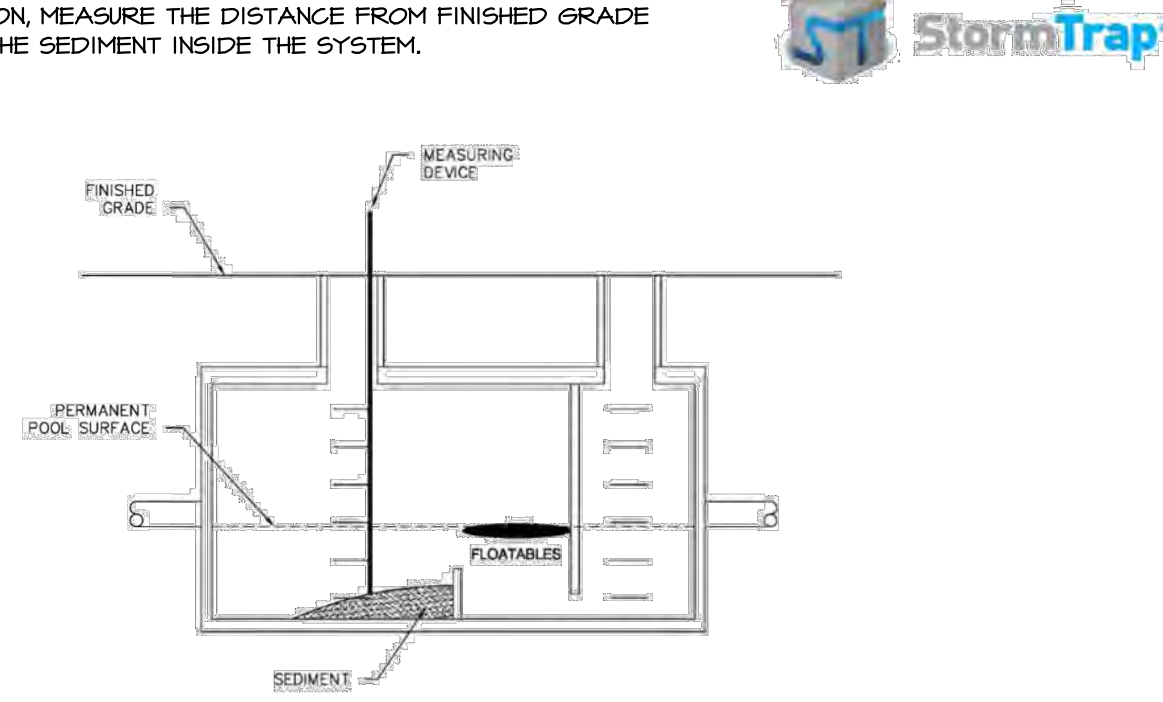
INSPECTION REPORTS

PROOF OF THESE INSPECTIONS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL INSPECTION REPORTS AND DATA SHOULD BE KEPT ON SITE OR AT A LOCATION WHERE THEY WILL BE ACCESSIBLE FOR YEARS IN THE FUTURE. SOME MUNICIPALITIES REQUIRE THESE INSPECTION AND CLEANING REPORTS TO BE FORWARDED TO THE PROPER GOVERNMENTAL PERMITTING AGENCY ON AN ANNUAL BASIS.

REFER TO YOUR LOCAL AND NATIONAL REGULATIONS FOR ANY ADDITIONAL MAINTENANCE REQUIREMENTS AND SCHEDULES NOT CONTAINED HEREIN. INSPECTIONS SHOULD BE A PART OF YOUR STANDARD OPERATING PROCEDURE.

FIGURE 1.

DURING INSPECTION MEASURE THE DISTANCE FROM FINISHED GRADE TO THE TOP OF THE SEDIMENT INSIDE THE SYSTEM.



COLLECTION & CONVEYANCE OPERATION AND MAINTENANCE

CATCH BASINS, INLETS, AND WATER QUALITY INLETS

1. STRUCTURES SHALL BE CLEANED AND INSPECTED AND CLEANED AT A MINIMUM ANNUALLY TO REMOVE ACCUMULATED SEDIMENT, FLUIDS, GREASE, OILS, AND TRASH.
2. STRUCTURES SHALL BE INSPECTED AFTER SIZEABLE RAIN EVENTS TO DETERMINE IF MAINTENANCE IS REQUIRED OR AT LEAST ONE A MONTH.
3. AVOID OR MINIMIZE SEDIMENT AND POLLUTANT DISCHARGES FROM THE WORK AREA.
4. PREVENT PARKING AREAS, ROADS, DRAINAGE SYSTEMS, FACILITIES AND PROPERTY FROM BECOMING POLLUTANT SOURCES.
5. PERIODICALLY INSPECT THE CATCH BASIN AND SURROUNDING AREAS FOR POLLUTANTS SUCH AS LEAKS FROM DUMPSTERS, MINOR SPILLS, AND OIL DUMPING. ACT TO HAVE THE POLLUTANT SOURCE REMOVED.
6. CLEAN CATCH BASINS WHEN THEY BECOME ONE THIRD FULL TO MAINTAIN SEDIMENT-TRAPPING CAPACITY.
7. CATCH BASIN AND MANHOLE CLEANING SHOULD BE PERFORMED IN A MANNER THAT KEEPS REMOVED SEDIMENT AND WATER FROM BEING DISCHARGED BACK INTO THE STORM SEWER.
8. CLEAN RIPRAP MATERIALS FROM CATCH BASINS WHEN DISCOVERED OR REPORTED.
9. KEEP THE INLET CLEARED OF DEBRIS AND LITTER.
10. WORK INSIDE UNDERGROUND STRUCTURES REQUIRES SPECIAL OSHA-REQUIRED CONFINED SPACE EQUIPMENT AND PROCEDURES. THE MOST PRACTICAL OPTION MAY BE TO CONTRACT WITH A SEWER CLEANING CONTRACTOR.
11. DISPOSAL OF WASTE FROM MAINTENANCE OF DRAINAGE FACILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
12. REPAIR ANY DAMAGES THAT PREVENT THE CATCH BASIN FROM FUNCTIONING AS DESIGNED.

MANHOLES

1. INSPECT THE MANHOLE ONCE PER YEAR. CHECK THE FRAME AND LID FOR CRACKS AND WEAR, SUCH AS ROCKING LIDS OR LIDS MOVED BY TRAFFIC.
2. PERIODICALLY INSPECT THE MANHOLE AND SURROUNDING AREAS FOR POLLUTANTS SUCH AS LEAKS FROM DUMPSTERS, MINOR SPILLS, AND OIL DUMPING. TAKE ACTION TO HAVE THE POLLUTANT SOURCE REMOVED.
3. CLEAN MANHOLES WHEN THERE IS A BLOCKAGE OF A WATER FLOW PATH. CLEANING SHOULD BE PERFORMED IN A WAY THAT ENSURES REMOVED SEDIMENT AND WATER IS NOT DISCHARGED BACK INTO THE STORM SEWER.
4. WORK INSIDE UNDERGROUND STRUCTURES REQUIRES SPECIAL OSHA-REQUIRED CONFINED SPACE EQUIPMENT AND PROCEDURES. THE MOST PRACTICAL OPTION MAY BE TO CONTRACT WITH A SEWER CLEANING CONTRACTOR.
5. DISPOSAL OF WASTE FROM MAINTENANCE OF DRAINAGE FACILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
6. REPAIR ALL SECURITY AND ACCESS FEATURES SO THEY ARE FULLY FUNCTIONAL. THIS INCLUDES LOCKING LIDS, COVERS, AND LADDER RUNGS.
7. REPLACE BROKEN PARTS OR LIDS THAT ROCK OR ARE MOVED BY TRAFFIC.

STORM PIPE

1. STORM PIPES MUST BE CLEAR OF OBSTRUCTIONS AND BREAKS TO PREVENT LOCALIZED FLOODING.
2. CLEAN PIPES WHEN SEDIMENT AFFECTS THE DESIGNED HYDRAULIC CAPACITY. WHEN CLEANING A PIPE, MINIMIZE SEDIMENT AND DEBRIS DISCHARGES FROM PIPES TO THE STORM SEWER. INSTALL DOWNSTREAM DEBRIS TRAPS (WHERE APPLICABLE) BEFORE CLEANING AND THEN REMOVE MATERIAL.
3. WORK INSIDE UNDERGROUND STRUCTURES REQUIRES SPECIAL OSHA-REQUIRED CONFINED SPACE EQUIPMENT AND PROCEDURES.
4. REPAIR OR REPLACE PIPES DAMAGED DETERIORATION OR WHEN DAMAGED.

DEBRIS BARRIERS/TRASH RACKS

1. INSPECT TRASH RACKS AT LEAST ONCE PER YEAR.
2. CLEAN TRASH RACKS WHEN DEBRIS IS FLUGING MORE THAN 20 PERCENT OF THE OPENINGS OR WHEN OBSTRUCTIONS TO FISH PASSAGE ARE CREATED.
3. IMMEDIATELY REPLACE MISSING RACKS AND MISSING BARS.
4. REPLACE BARS THAT ARE DETERIORATED TO THE POINT WHERE THEY MAY BE EASILY REMOVED.
5. BEND BENT BARS BACK INTO POSITION.

INSPECTION SCHEDULE, DEDICATED FACILITIES AND OWNERSHIP RESPONSIBILITIES

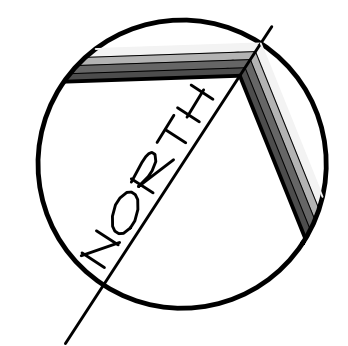
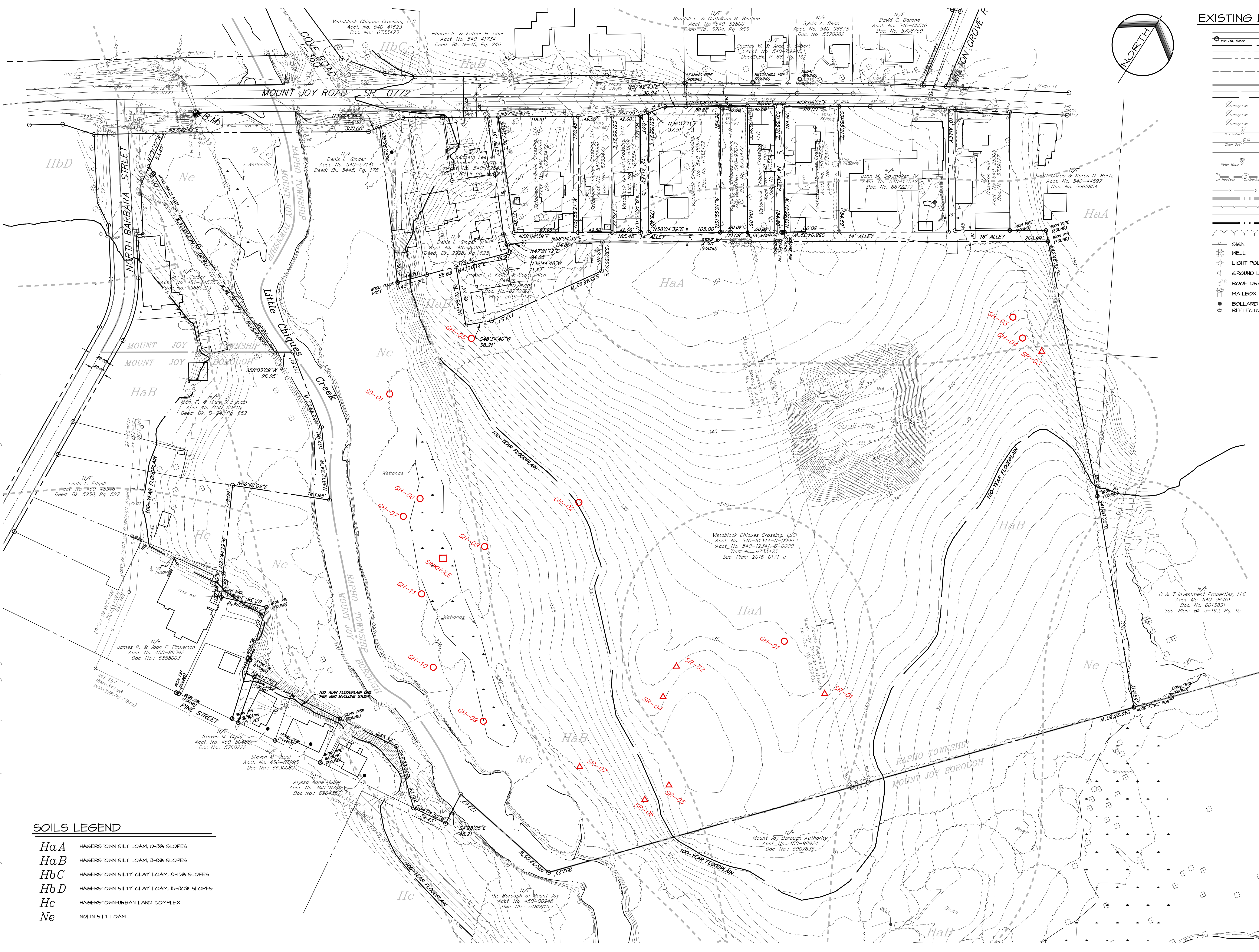
GENERAL INFORMATION			OPERATION AND MAINTENANCE	
BMP NAME	FACILITY DESCRIPTION	LOCATION	INSPECTION AND MAINTENANCE FREQUENCY	RESPONSIBLE PARTY
N/A	PAVING, CURB AND SIDEWALK IMPROVEMENTS	PENNDOT ROW	N/A	PENNDOT
N/A	INLET I-PD1 TO I-PD3	PENNDOT ROW	N/A	TOWNSHIP
N/A	INLET I-A1 TO MH-A2	PENNDOT ROW	SEE SPECIFIC O&M DETAILS BELOW	PROPERTY OWNER
N/A	INLET I-B1 TO I-B4	PENNDOT ROW	SEE SPECIFIC O&M DETAILS BELOW	PROPERTY OWNER
N/A	INLET I-C1 TO I-C2	PENNDOT ROW	SEE SPECIFIC O&M DETAILS BELOW	PROPERTY OWNER
N/A	INTERNAL SITE STORMWATER CONVEYANCE	PRIVATE PROPERTY	SEE SPECIFIC O&M DETAILS BELOW	PROPERTY OWNER
BMP-1	STORMTRAP UNDERGROUND CHAMBER SYSTEM	PRIVATE PROPERTY	SEE SPECIFIC O&M DETAILS BELOW	PROPERTY OWNER
BMP-2/3	ABOVE GROUND WATER BIORETENTION BASIN	PRIVATE PROPERTY	SEE SPECIFIC O&M DETAILS BELOW	PROPERTY OWNER
N/A	RIPIARIAN WATER QUALITY BMPs	PRIVATE PROPERTY	SEE SPECIFIC O&M DETAILS BELOW	PROPERTY OWNER
SS #1/2	SITE SAVER - HYDRODYNAMIC SEPARATORS	PRIVATE PROPERTY	SEE SPECIFIC O&M DETAILS BELOW	PROPERTY OWNER

REVISIONS PER:	DATE:	BY:
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-	-	-

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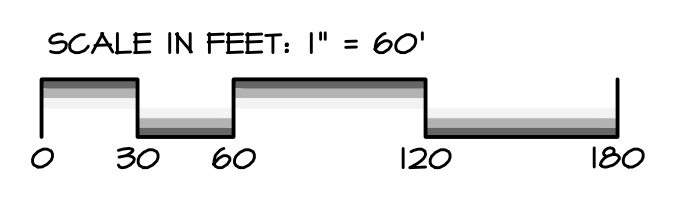


EXISTING LEGEND

	Concrete Monument	ADJONER PROPERTY LINE
		PROPERTY LINE
		RIGHT-OF-WAY LINE
		CENTERLINE
		EASEMENTS
		INDEX CONTOUR
		INTERMEDIATE CONTOUR
		SPOT ELEVATION
		CURB LINE
		EDGE OF PAVEMENT (E.O.P.)
		MIN. BLDG SETBACK LINE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		UNDERGROUND TELEPHONE
		GAS LINE
		SANITARY SEWER LINE
		SANITARY FORCE MAIN
		WATER LINE
		STORM DRAINAGE PIPING
		FENCE
		ZONING LINE
		GUIDE RAIL
		EDGE OF WATER (STREAM)
		FEMA 100 YEAR FLOODPLAIN
		TREE LINE
		DECIDUOUS TREES
		CONIFEROUS TREE
		TRAFFIC SIGNAL BOX
		TRAFFIC SIGNAL POLE
		TRAFFIC SIGNAL MAST
		TEST PIT / TEST BORE

GEOTECH LEGEND

	SURFACE DEPRESSION
	ANIMAL BURROW
	SURFICIAL ROCK



REVISIONS PER:	DATE:	BY:

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ENGINEERS + LANDSCAPE ARCHITECTS

REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE08449
PENNSYLVANIA

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
DERRICK JAMES MUSSER
No. LA08449
PENNSYLVANIA

CONDITIONAL USE PLAN

SUBJECT:
OVERALL EXISTING CONDITIONS PLAN

FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

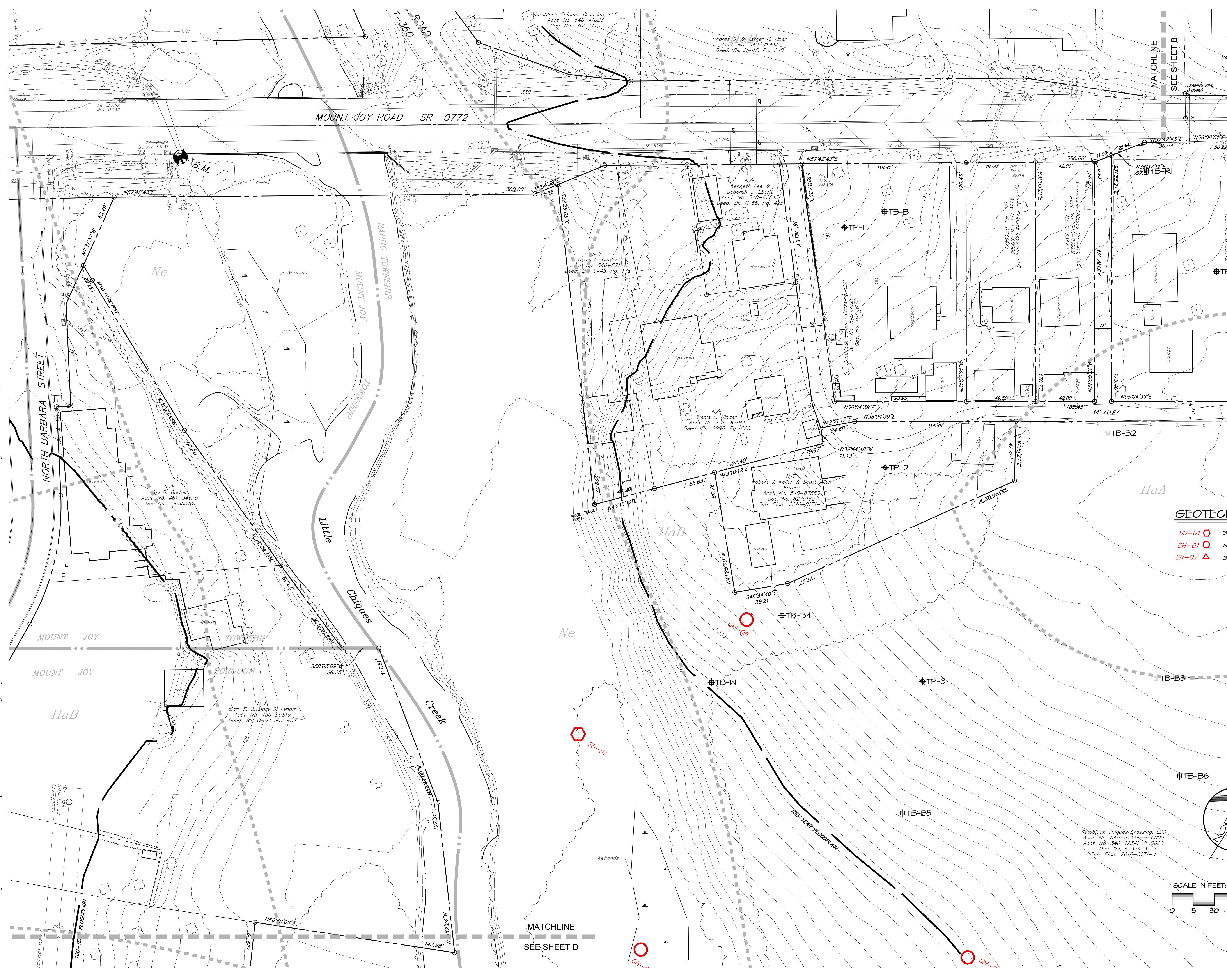
MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	1" = 60'

DRAWING NO.
7 of 78

SOILS LEGEND

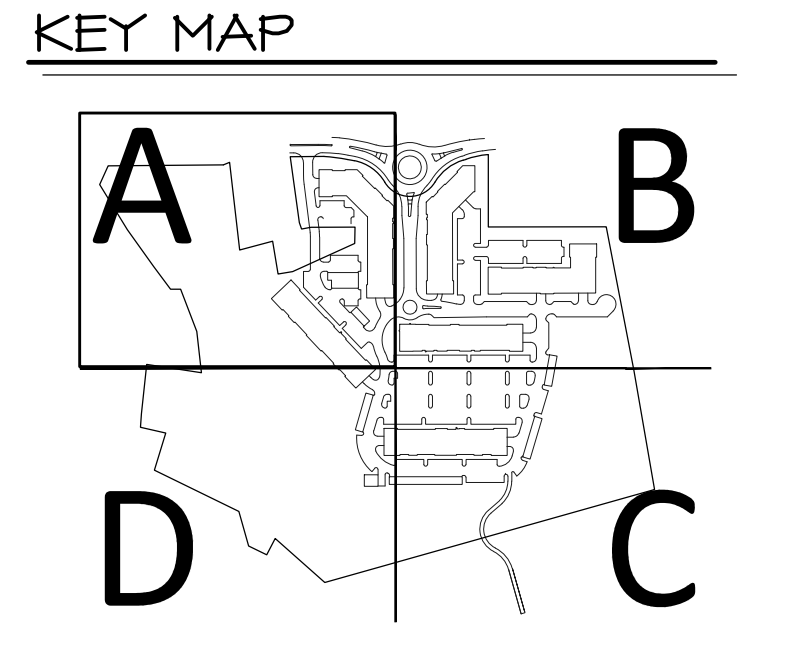
HaA	HAGERSTOWN SILT LOAM, 0-3% SLOPES
HaB	HAGERSTOWN SILT LOAM, 3-8% SLOPES
HbC	HAGERSTOWN SILTY CLAY LOAM, 0-15% SLOPES
HbD	HAGERSTOWN SILTY CLAY LOAM, 15-30% SLOPES
Hc	HAGERSTOWN-URBAN LAND COMPLEX
Ne	NOLIN SILT LOAM

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EXISTING LEGEND

	Concrete Monument		ADJONER PROPERTY LINE
			PROPERTY LINE
			RIGHT-OF-WAY LINE
			CENTERLINE
			EASEMENTS
			INDEX CONTOUR
			INTERMEDIATE CONTOUR
			SPOT ELEVATION
			CURB LINE
			EDGE OF PAVEMENT (E.O.P.)
			MIN. BLDG SETBACK LINE
			OVERHEAD ELECTRIC
			UNDERGROUND ELECTRIC
			UNDERGROUND TELEPHONE
			GAS LINE
			SANITARY SEWER LINE
			SANITARY FORCE MAIN
			WATER LINE
			STORM DRAINAGE PIPING
			FENCE
			ZONING LINE
			GUIDE RAIL
			EDGE OF WATER (STREAM)
			FEMA 100 YEAR FLOODPLAIN
			TREE LINE
	SIGN		DECIDUOUS TREES
	WELL		CONIFEROUS TREE
	LIGHT POLE		TRAFFIC SIGNAL BOX
	GROUND LIGHT		TRAFFIC SIGNAL POLE
	ROOF DRAIN		TRAFFIC SIGNAL MAST
	MAILBOX		TB-1
	BOLLARD		TP-1
	REFLECTOR POST		TEST PIT / TEST BORE



GEOTECH LEGEND

	SD-01	SURFACE DEPRESSION
	GH-01	ANIMAL BURROW
	SR-07	SURFICIAL ROCK

REVISIONS PER:	DATE:	BY:

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ENGINEERS + LANDSCAPE ARCHITECTS

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REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSEY
No. PE08449
PENNSYLVANIA

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
DERRICK JAMES MUSSEY
No. LSA08449
PENNSYLVANIA

CONDITIONAL USE PLAN

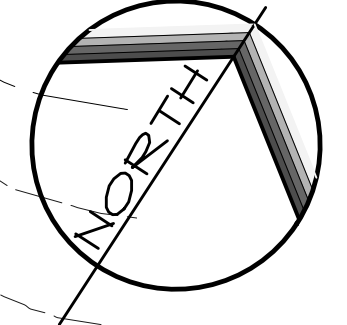
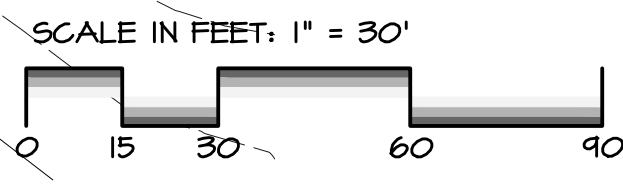
SUBJECT:
EXISTING CONDITIONS PLAN A

FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

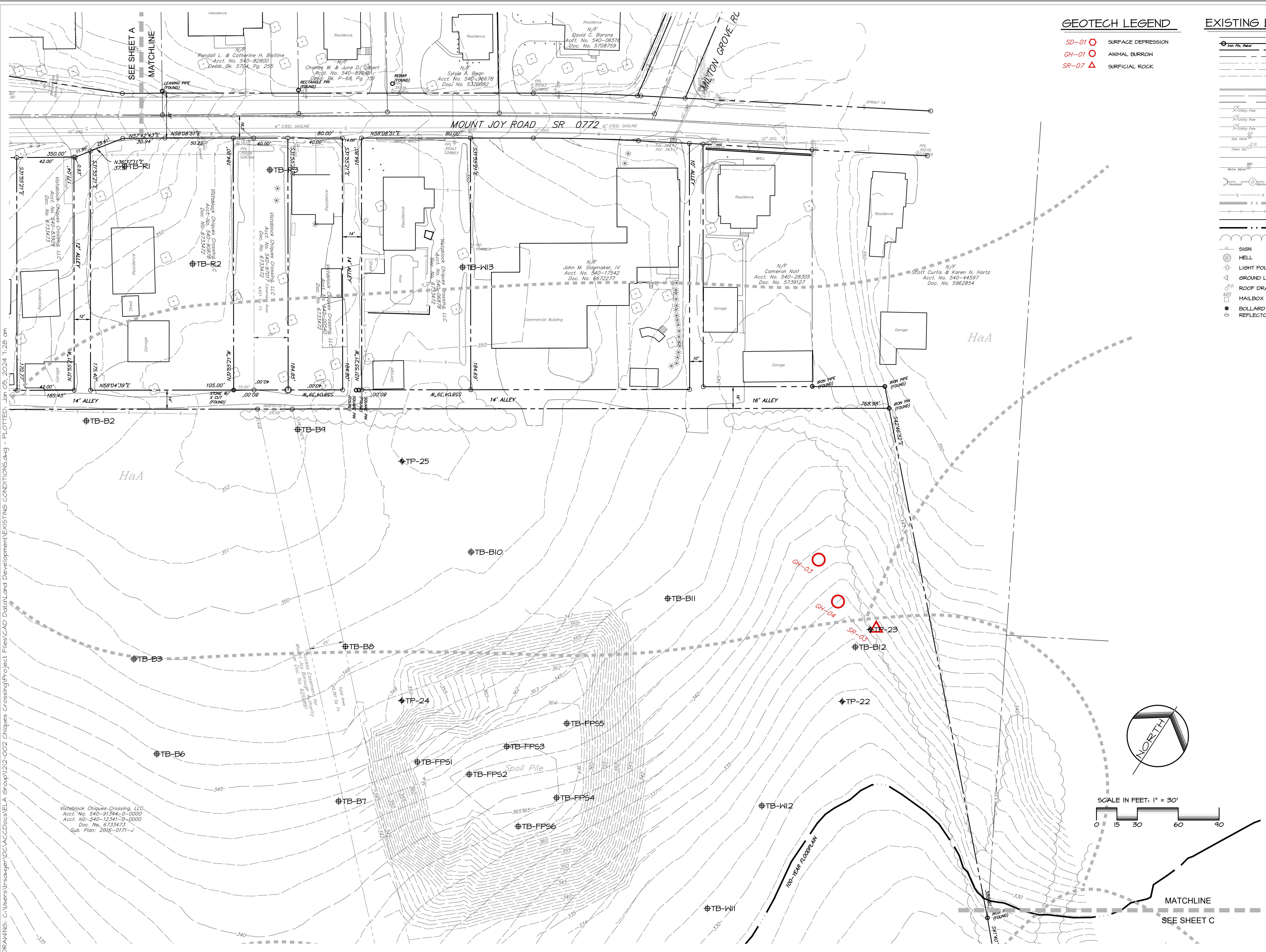
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	1" = 30'

DRAWING NO.
8 of 78



MATCHLINE
SEE SHEET D



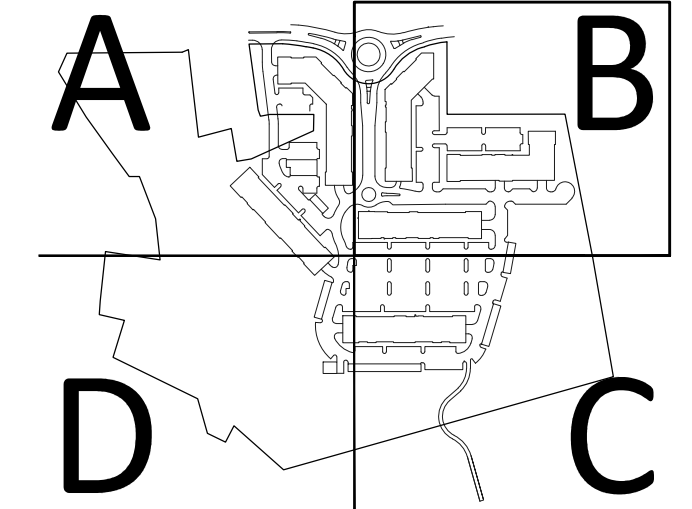
GEOTECH LEGEND

- SD-01 ○ SURFACE DEPRESSION
- GH-01 ○ ANIMAL BURROW
- SR-07 ▲ SURFICIAL ROCK

EXISTING LEGEND

- Iron Pin, Rebar
- Concrete Monument
- ADJONER PROPERTY LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- EASEMENTS
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- CURB LINE
- EDGE OF PAVEMENT (E.O.P.)
- MIN. BLDG SETBACK LINE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- GAS LINE
- SANITARY SEWER LINE
- SANITARY FORCE MAIN
- WATER LINE
- STORM DRAINAGE PIPING
- FENCE
- ZONING LINE
- GUIDE RAIL
- EDGE OF WATER (STREAM)
- FEMA 100 YEAR FLOODPLAIN
- TREE LINE
- DECIDUOUS TREES
- CONIFEROUS TREE
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL MAST
- TEST PIT / TEST BORE

KEY MAP



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PENNSYLVANIA REGISTERED PROFESSIONAL ENGINEER
 DERRICK JAMES MUSSER
 No. PE08449

CONDITIONAL USE PLAN
 SUBJECT:
EXISTING CONDITIONS PLAN B
 FOR
 CHIQUES CROSSING
 RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
 CLIENT:
VISTABLOCK, LLC
 150 FARMINGTON LANE
 LANCASTER, PA 17601
 717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	1" = 30'

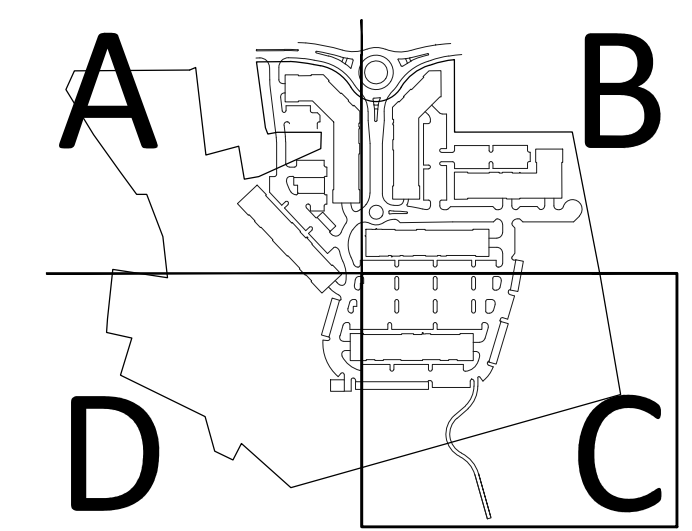
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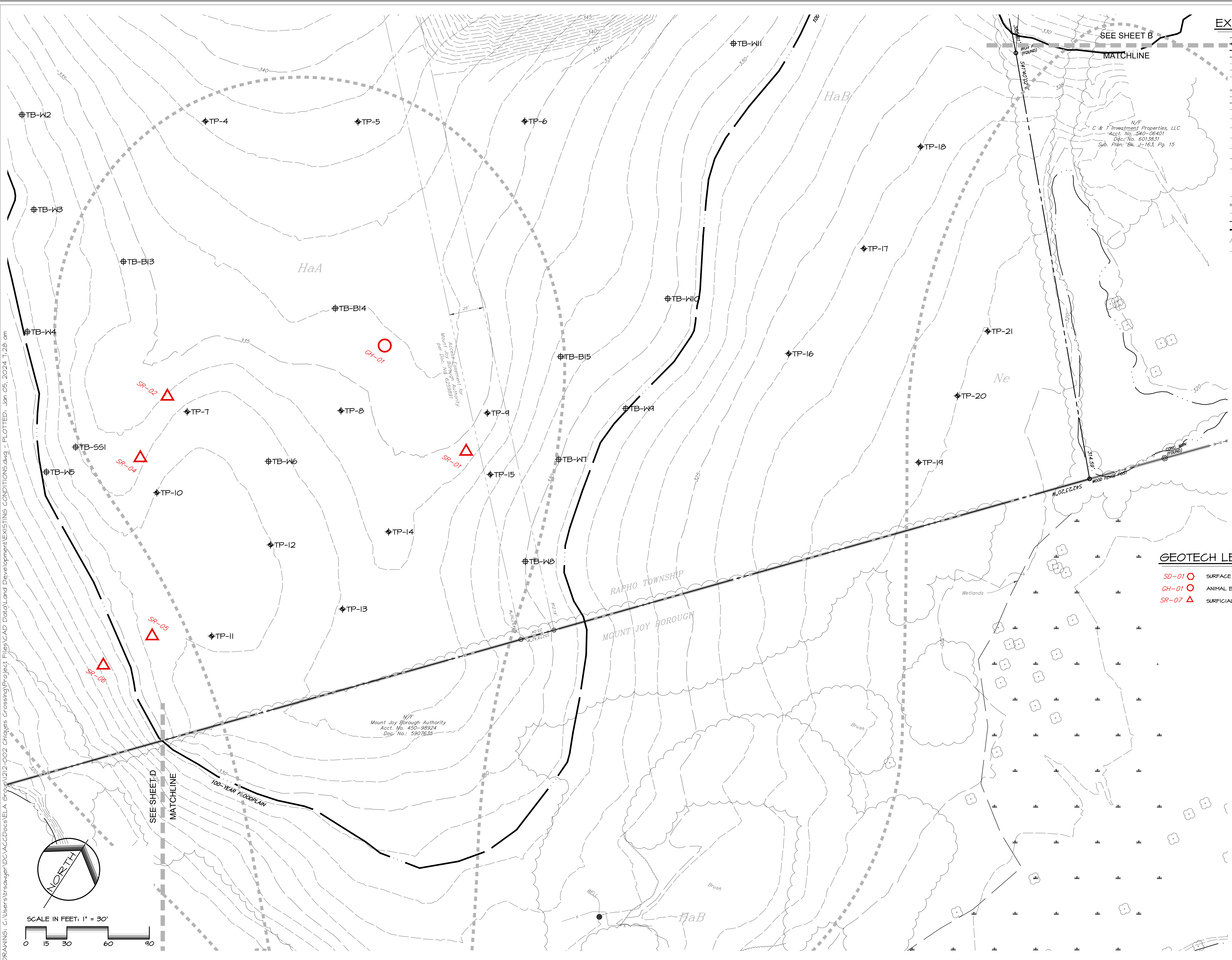
- Concrete Monument
- ADJONER PROPERTY LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- EASEMENTS
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- CURB LINE
- EDGE OF PAVEMENT (E.O.P.)
- MIN. BLDG SETBACK LINE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- GAS LINE
- SANITARY SEWER LINE
- SANITARY FORCE MAIN
- WATER LINE
- STORM DRAINAGE PIPING
- FENCE
- ZONING LINE
- GUIDE RAIL
- EDGE OF WATER (STREAM)
- FEMA 100 YEAR FLOODPLAIN
- TREE LINE
- SIGN
- WELL
- LIGHT POLE
- GROUND LIGHT
- ROOF DRAIN
- MAILBOX
- BOLLARD
- REFLECTOR POST
- DECIDUOUS TREES
- CONIFEROUS TREE
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL MAST
- TB-1 TEST PIT / TEST BORE
- TP-1

KEY MAP



GEOTECH LEGEND

- SD-01 ○ SURFACE DEPRESSION
- GH-01 ○ ANIMAL BURROW
- SR-07 ▲ SURFICIAL ROCK



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REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE08448
PENNSYLVANIA

CONDITIONAL USE PLAN
SUBJECT:
EXISTING CONDITIONS PLAN C
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
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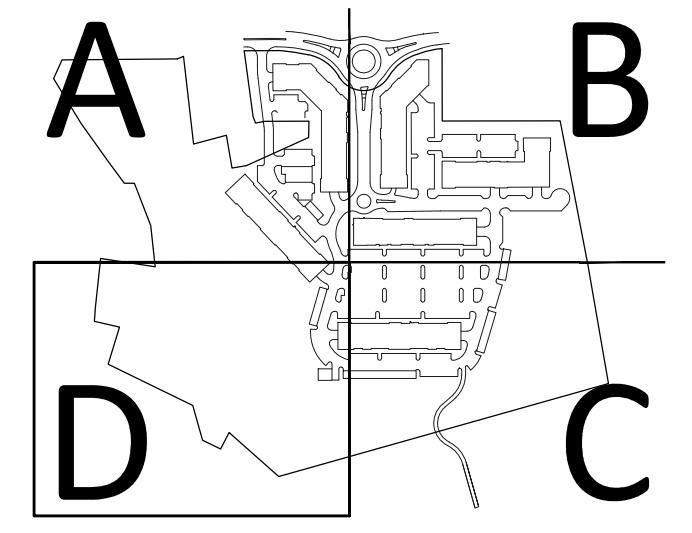
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10 of 78

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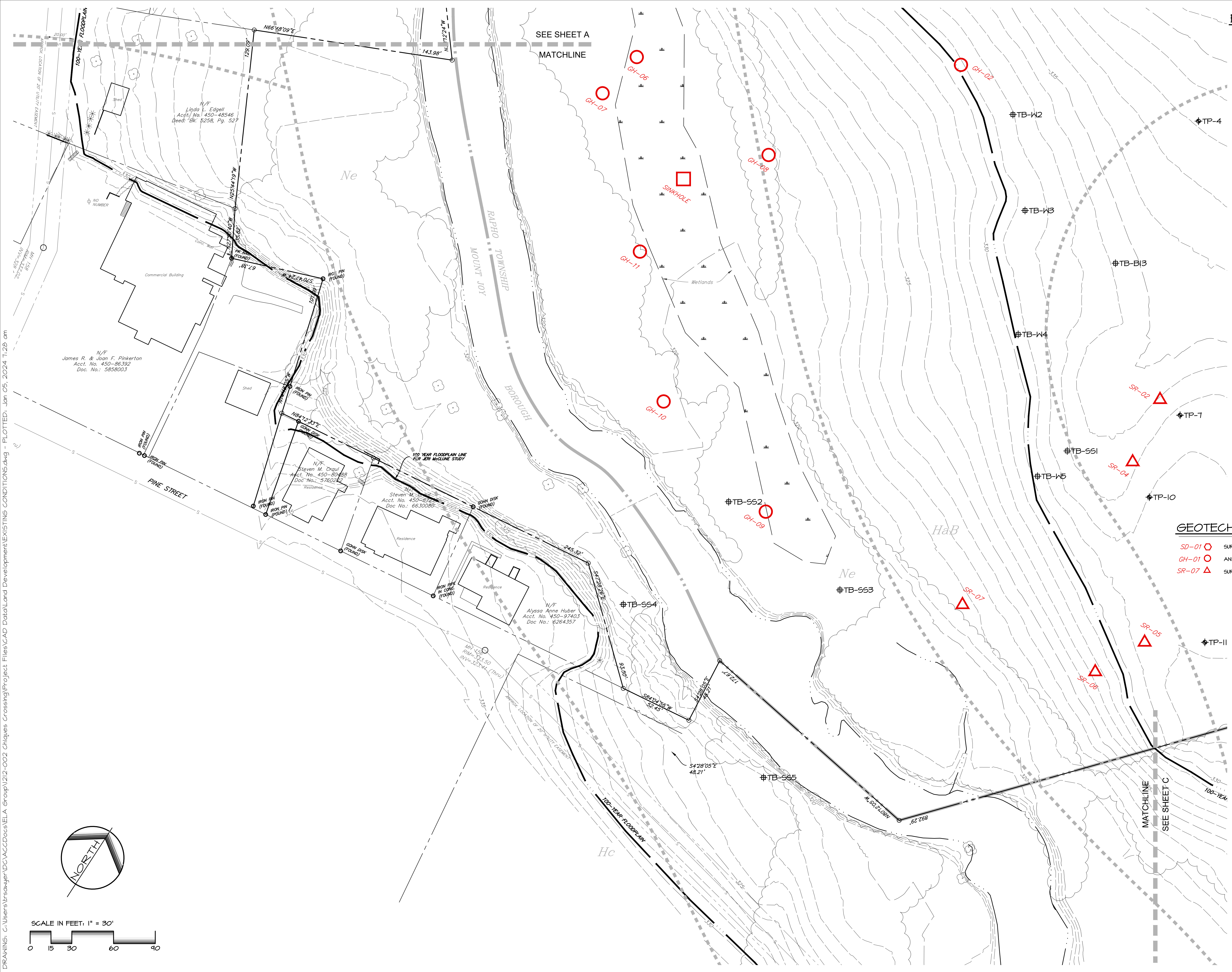
- Iron Pin, Reflector
- Concrete Monument
- ADJONER PROPERTY LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- EASEMENTS
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- CURB LINE
- EDGE OF PAVEMENT (E.O.P.)
- MIN. BLDG SETBACK LINE
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- GAS LINE
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- STORM DRAINAGE PIPING
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- GUIDE RAIL
- EDGE OF WATER (STREAM)
- FEMA 100 YEAR FLOODPLAIN
- TREE LINE
- DECIDUOUS TREES
- CONIFEROUS TREE
- TRAFFIC SIGNAL BOX
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL MAST
- TEST PIT / TEST BORE
- SIGN
- WELL
- LIGHT POLE
- GROUND LIGHT
- ROOF DRAIN
- MAILBOX
- BOLLARD
- REFLECTOR POST

KEY MAP



GEOTECH LEGEND

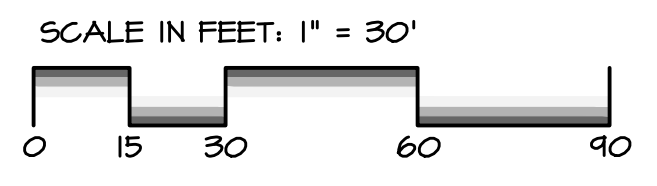
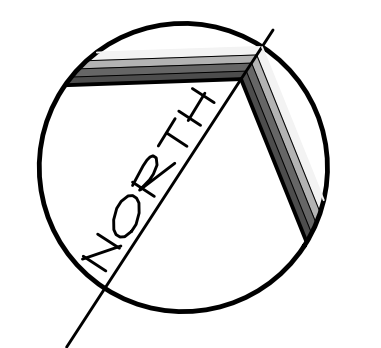
- SD-01 SURFACE DEPRESSION
- GH-01 ANIMAL BURROW
- SR-07 SURFICIAL ROCK



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MATCHLINE

MATCHLINE
SEE SHEET C

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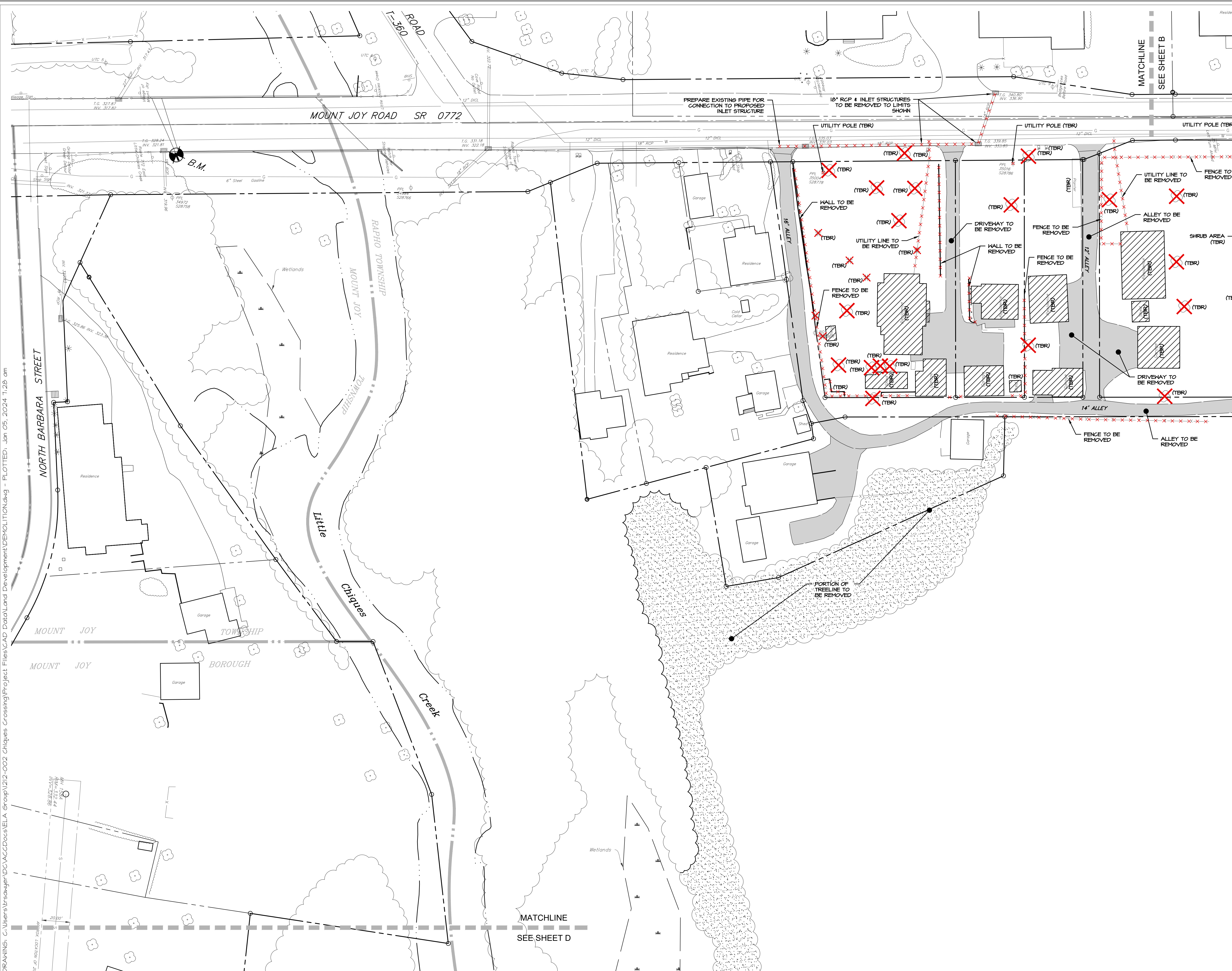
743 S. BROAD ST.
LITITZ, PA 17543
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elagroup.com

REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE08449
PENNSYLVANIA

CONDITIONAL USE PLAN
SUBJECT:
EXISTING CONDITIONS PLAN D
FOR
CHIQUES CROSSING
RAPPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

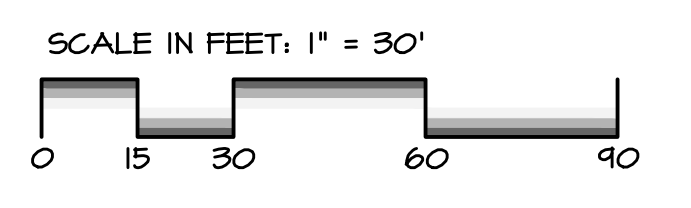
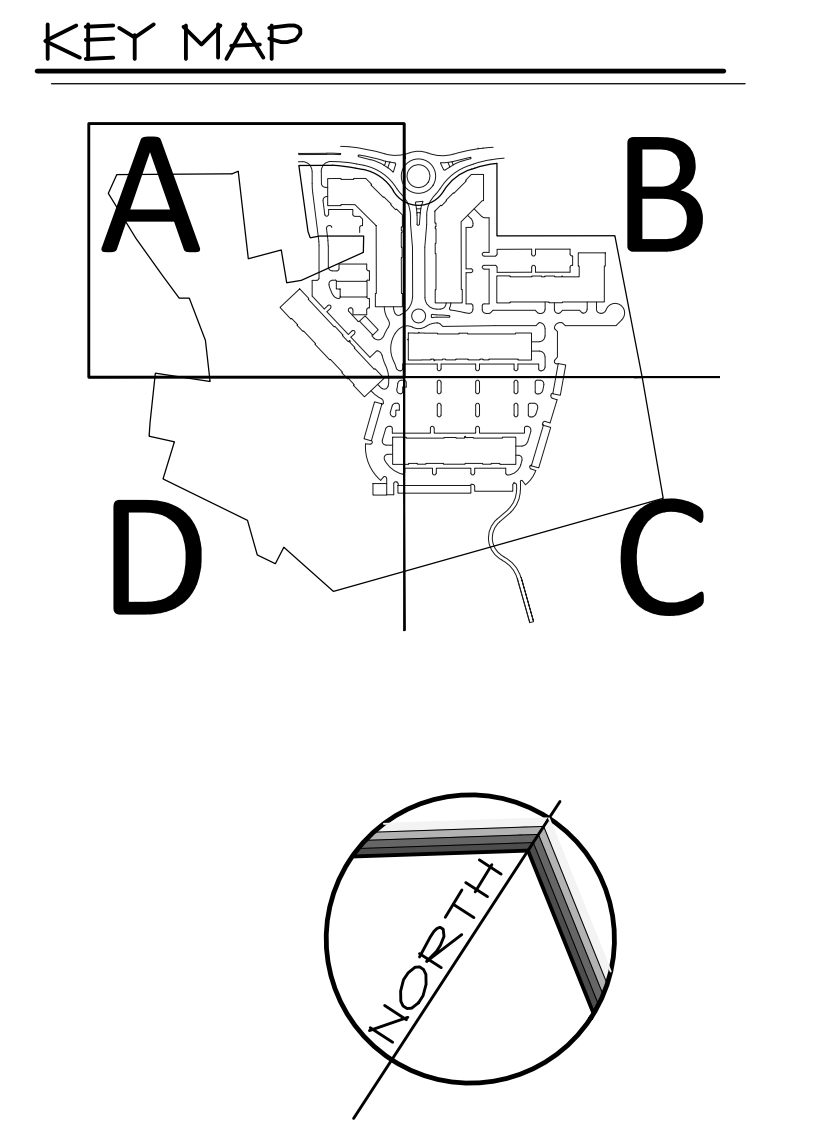
MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	1" = 30'

DRAWING NO.
11 of 78



DEMOLITION LEGEND

	REMOVE BITUMINOUS PAVING / GRAVEL & CONCRETE
	BUILDING, STRUCTURE, CURBING TO BE REMOVED COMPLETELY
	REMOVE TREES/SHRUBS AND GRUB STUMPS
	TO BE REMOVED, INCLUDING STRUCTURES/PIPES ABOVE AND BELOW GROUND.
	SPECIMEN TREE/SHRUB TO BE REMOVED
	TO BE REMOVED



REVISIONS PER:	DATE:	BY:

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ENGINEERS + LANDSCAPE ARCHITECTS

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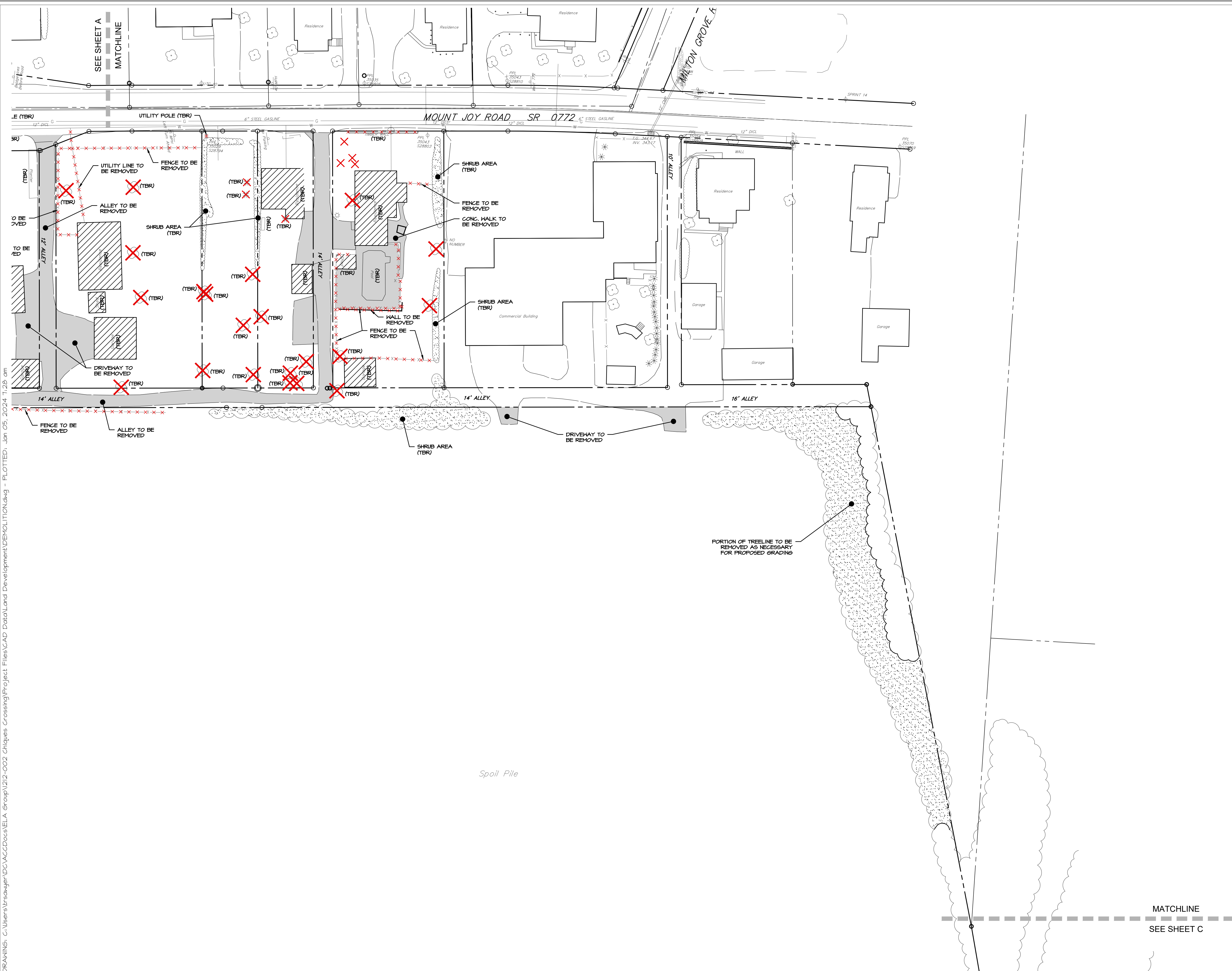
REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE08440
PENNSYLVANIA

CONDITIONAL USE PLAN
SUBJECT:
DEMOLITION PLAN A
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
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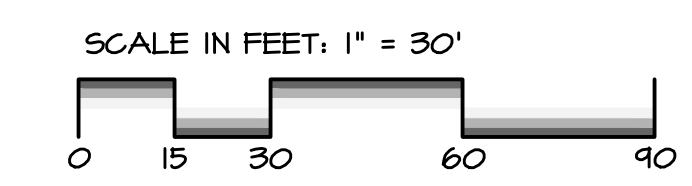
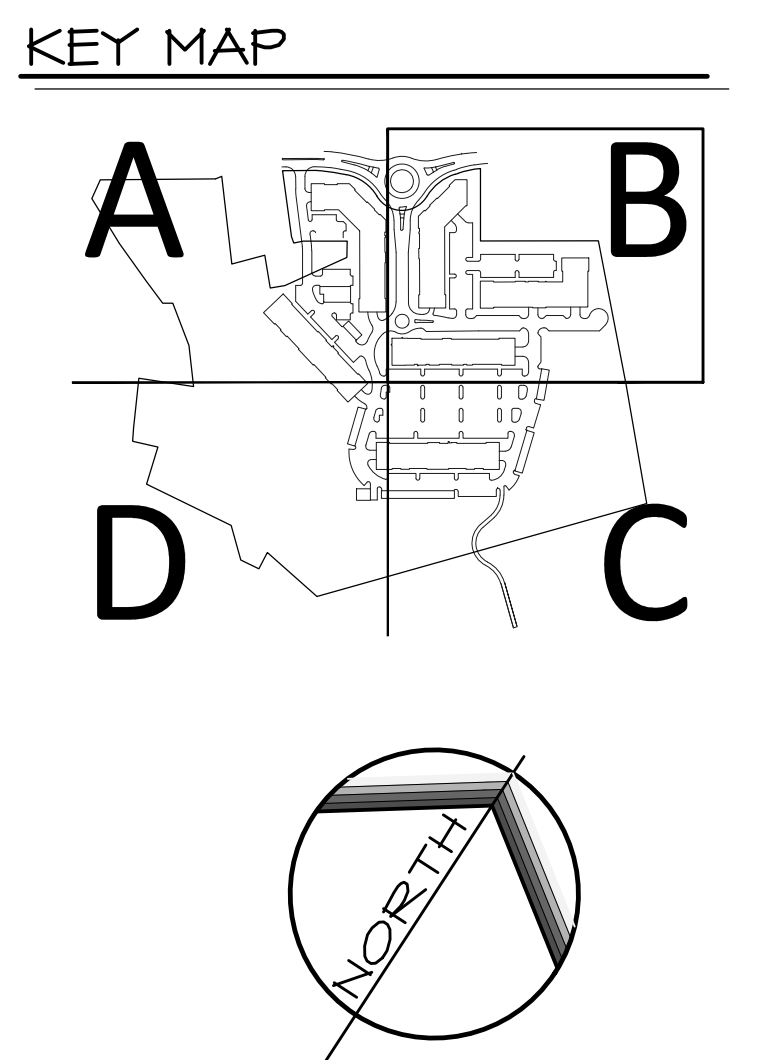
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DEMOLITION LEGEND

	REMOVE BITUMINOUS PAVING / GRAVEL & CONCRETE
	BUILDING, STRUCTURE, CURBING TO BE REMOVED COMPLETELY
	REMOVE TREES/SHRUBS AND GRUB STUMPS
	TO BE REMOVED, INCLUDING STRUCTURES/PIPES ABOVE AND BELOW GROUND.
	SPECIMEN TREE/SHRUB TO BE REMOVED
(TBR)	TO BE REMOVED



REVISIONS PER:	DATE:	BY:

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ENGINEERS + LANDSCAPE ARCHITECTS

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REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE08449
PENNSYLVANIA

CONDITIONAL USE PLAN
SUBJECT:
DEMOLITION PLAN B
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

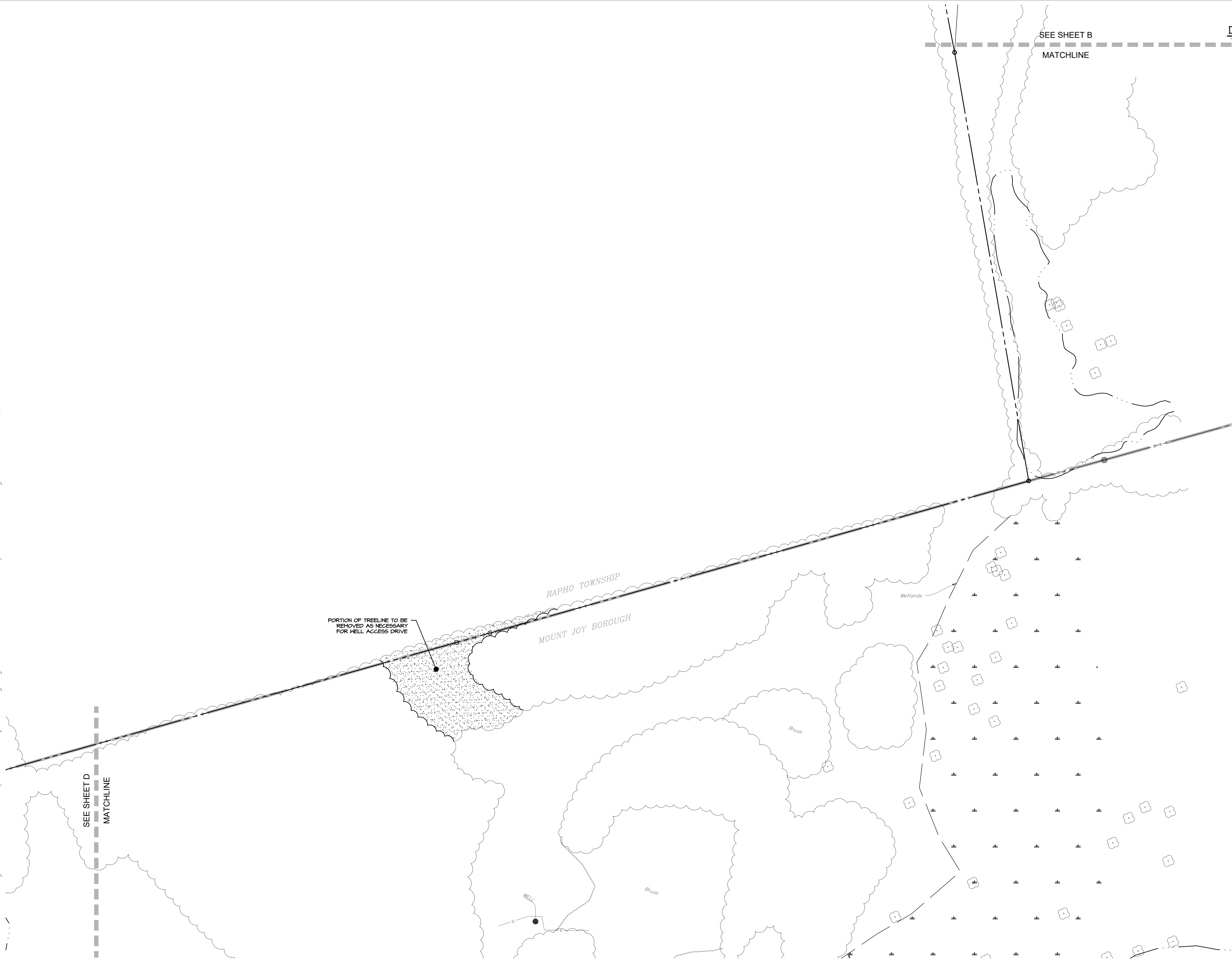
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DESIGNER:	DJM	PROJECT NO.:	1212-002
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13 of 78

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MATCHLINE
SEE SHEET C

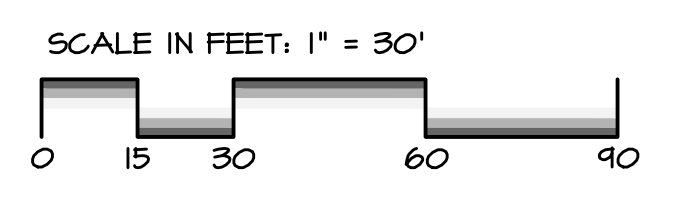
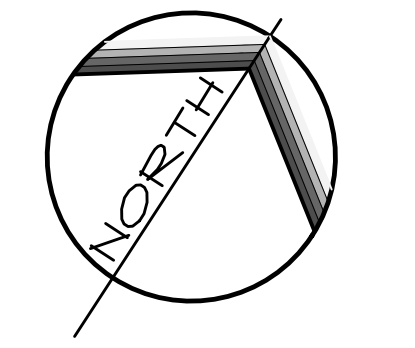
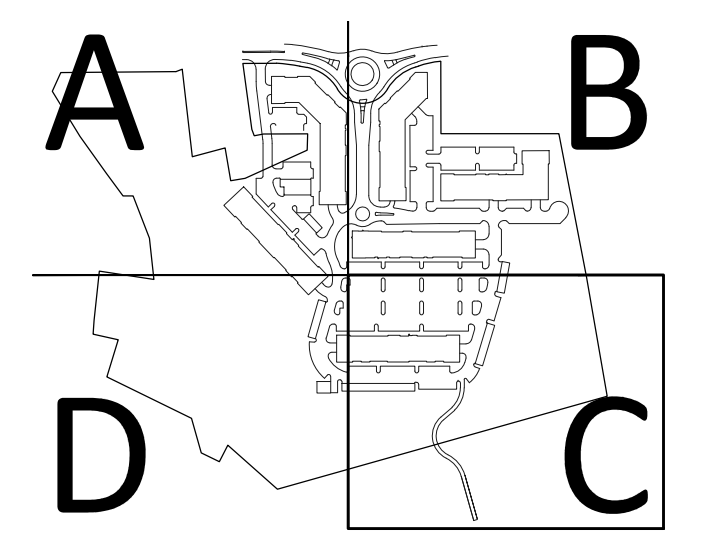
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DEMOLITION LEGEND

	REMOVE BITUMINOUS PAVING / GRAVEL & CONCRETE
	BUILDINGS, STRUCTURE, CURBING TO BE REMOVED COMPLETELY
	REMOVE TREES/SHRUBS AND GRUB STUMPS
	TO BE REMOVED, INCLUDING STRUCTURES/PIPES ABOVE AND BELOW GROUND.
	SPECIMEN TREE/SHRUB TO BE REMOVED
(TBR)	TO BE REMOVED

KEY MAP



REVISIONS PER:	DATE:	BY:
-	-	-
-	-	-
-	-	-
-	-	-

ELA group, inc.
ENGINEERS & LANDSCAPE ARCHITECTS

743 S. BROAD ST.
LITITZ, PA 17543
(717) 626-7271
elagroup.com

CONDITIONAL USE PLAN
SUBJECT:
DEMOLITION PLAN C
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	1" = 30'

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14 of 78

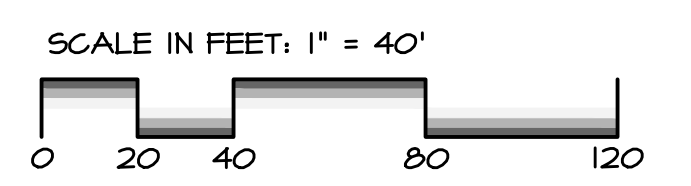
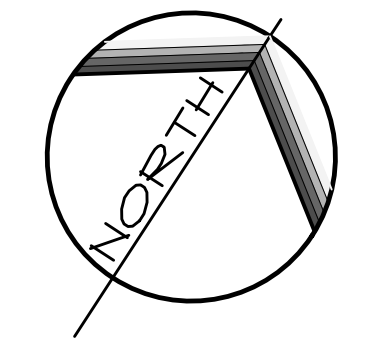
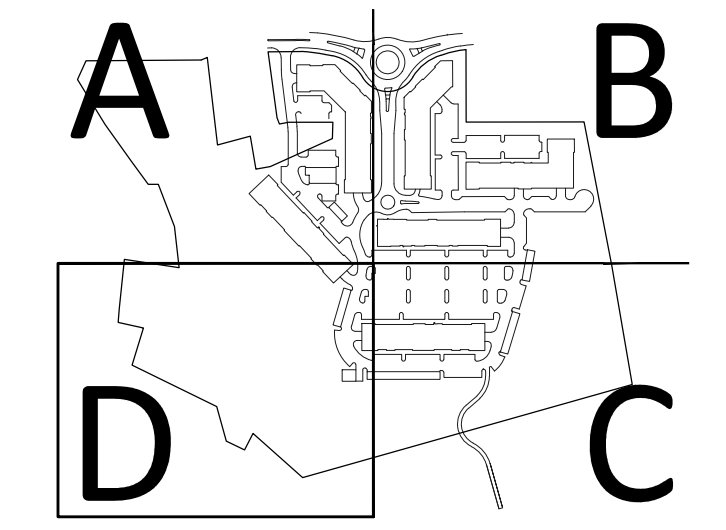
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DEMOLITION LEGEND

	REMOVE BITUMINOUS PAVING / GRAVEL & CONCRETE
	BUILDING, STRUCTURE, CURBING TO BE REMOVED COMPLETELY
	REMOVE TREES/SHRUBS AND GRUB STUMPS
	TO BE REMOVED, INCLUDING STRUCTURES/PIPES ABOVE AND BELOW GROUND.
	SPECIMEN TREE/SHRUB TO BE REMOVED
	TO BE REMOVED

KEY MAP



REVISIONS PER:	DATE:	BY:

ELA group, inc.
ENGINEERS + LANDSCAPE ARCHITECTS

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REGISTERED PROFESSIONAL ENGINEER
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No. PE084416
PENNSYLVANIA

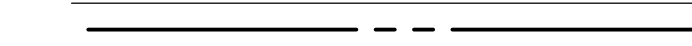
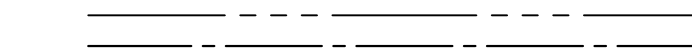
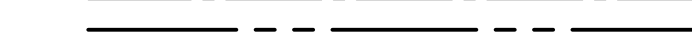
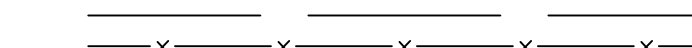
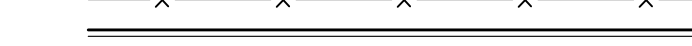





REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
DERRICK JAMES MUSSER
No. LSA0000001
PENNSYLVANIA

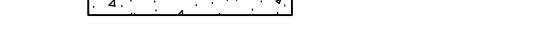


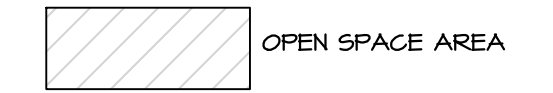
CONDITIONAL USE PLAN
SUBJECT:
DEMOLITION PLAN D
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

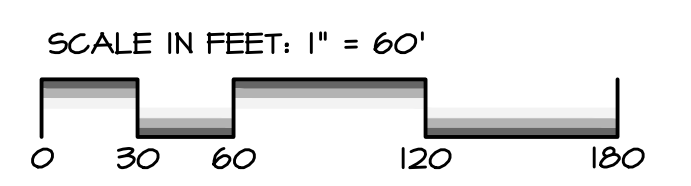
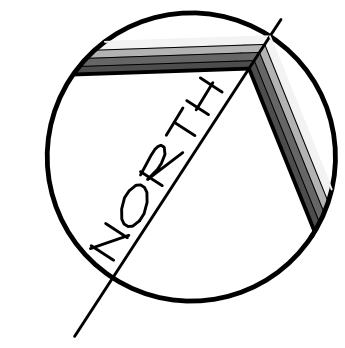
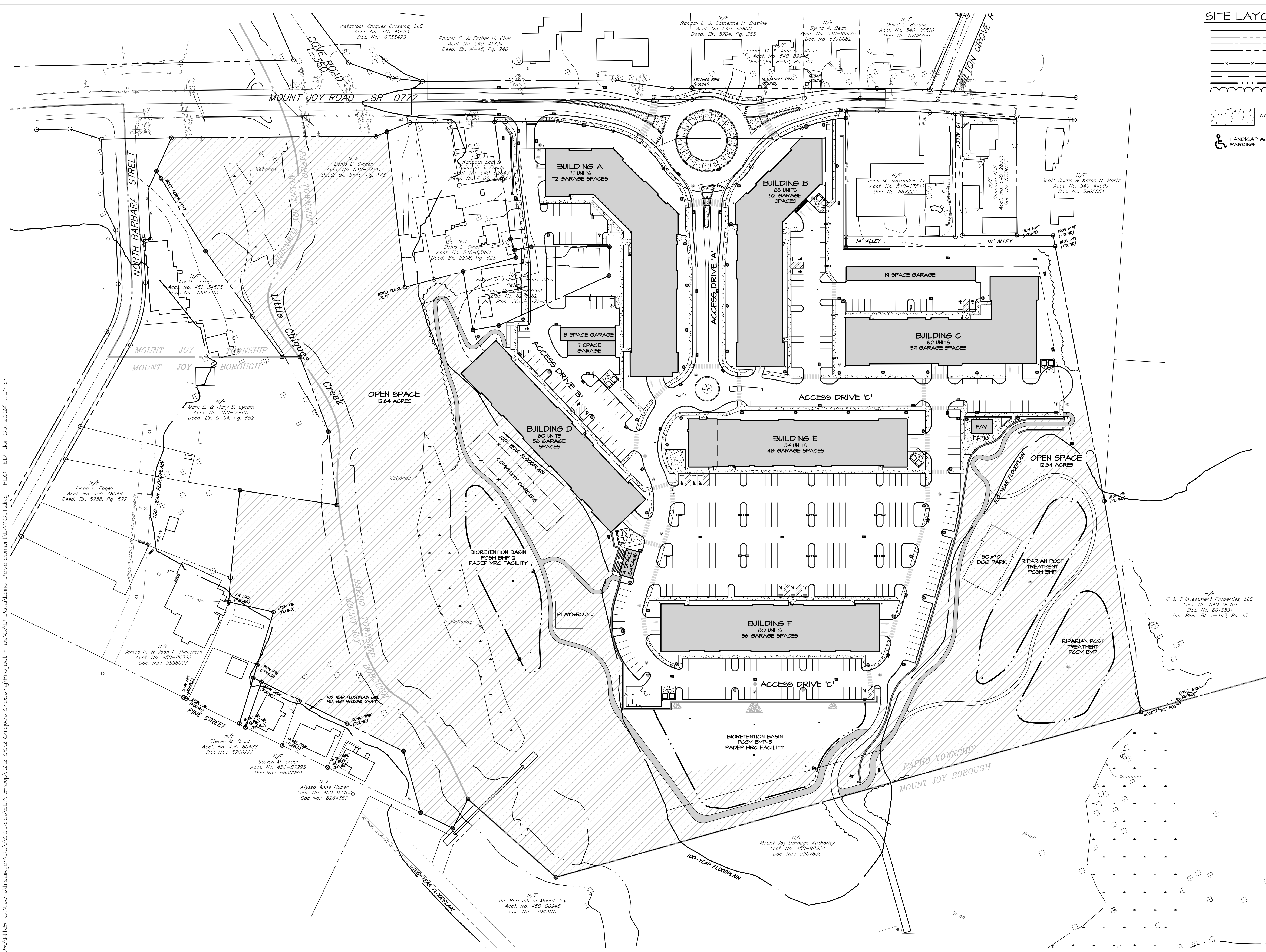
MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	1" = 30'

DRAWING NO.
15 of 78

SITE LAYOUT LEGEND

-  PROPERTY LINE
-  EASEMENT LINE
-  CENTERLINE
-  RIGHT OF WAY LINE
-  BUILDING SETBACK LINE
-  FENCE LINE
-  CONCRETE CURB
-  CLEAR SIGHT TRIANGLE
-  PROPOSED STORMWATER BASIN
-  TREE LINE

-  CONCRETE PAVING
-  BITUMINOUS WALKWAY
-  HANDICAP ACCESSIBLE PARKING
-  OPEN SPACE AREA



REVISIONS PER:	DATE:	BY:

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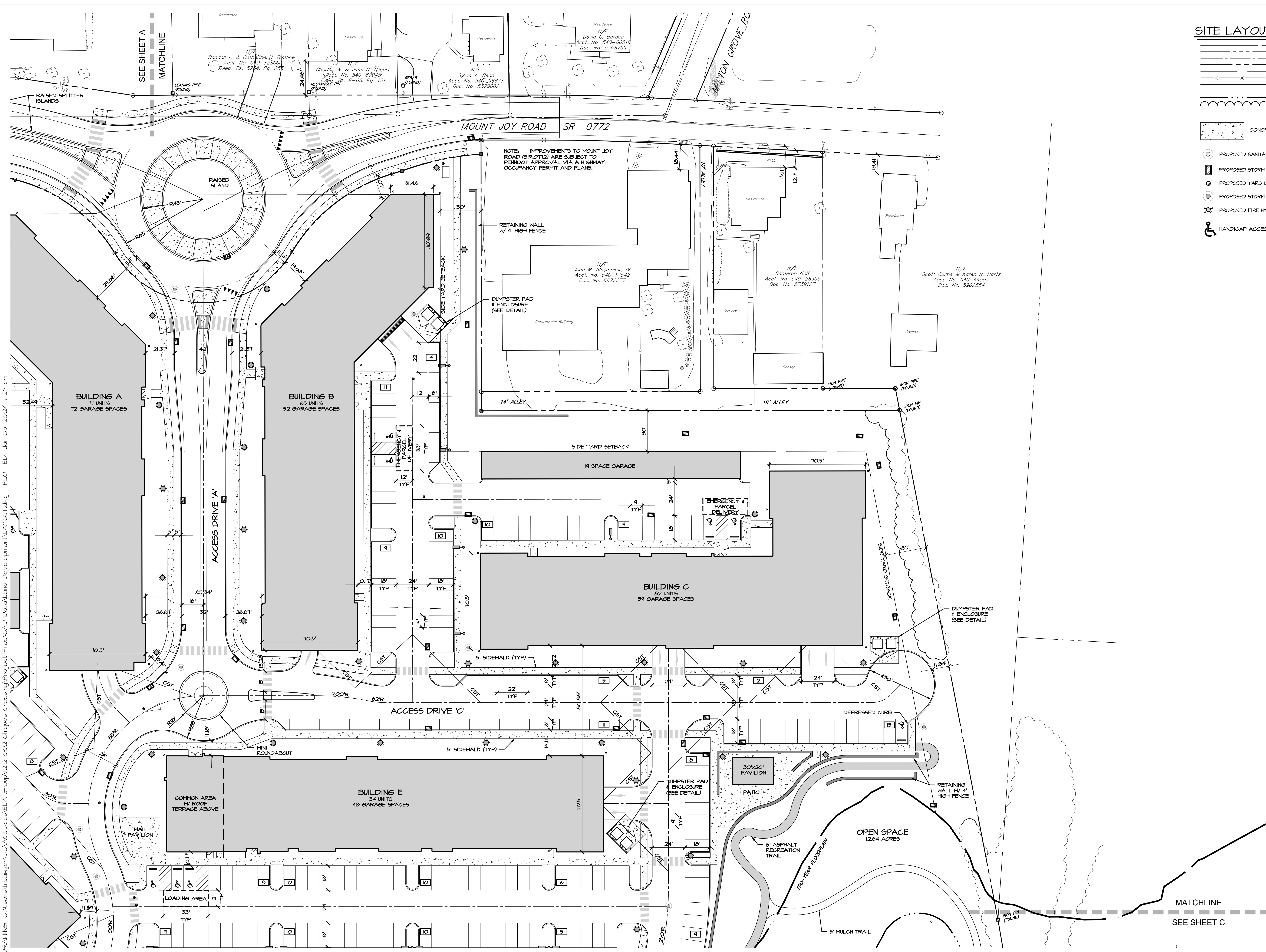
REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE08440
PENNSYLVANIA

CONDITIONAL USE PLAN
SUBJECT:
OVERALL SITE & OPEN SPACE PLAN
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	1" = 60'

DRAWING NO.
17 of 78

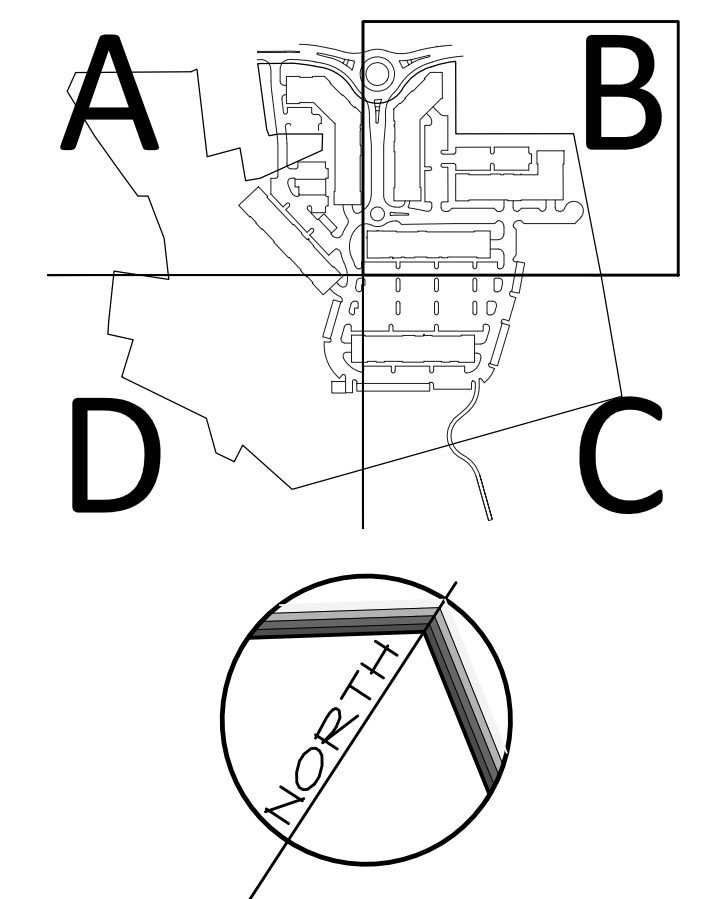
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SITE LAYOUT LEGEND

- PROPERTY LINE
 - EASEMENT LINE
 - CENTERLINE
 - RIGHT OF WAY LINE
 - BUILDING SETBACK LINE
 - FENCE LINE
 - CONCRETE CURB
 - CLEAR SIGHT TRIANGLE
 - PROPOSED STORMWATER BASIN
 - TREE LINE
-
- CONCRETE PAVING
 - BITUMINOUS WALKWAY
 - PROPOSED SANITARY SEWER MANHOLE
 - PROPOSED STORM WATER INLET
 - PROPOSED YARD DRAIN
 - PROPOSED STORM WATER MANHOLE
 - PROPOSED FIRE HYDRANT
 - HANDICAP ACCESSIBLE PARKING
 - CONCRETE MONUMENT
 - IRON PIN
 - SIGNAGE
 - HEADWALL/ENDWALL

KEY MAP



SCALE IN FEET: 1" = 30'

REVISIONS PER:	DATE:	BY:

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 ENGINEERS + LANDSCAPE ARCHITECTS

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REGISTERED PROFESSIONAL ENGINEER
 DERRICK JAMES MUSSER
 No. PE08446
 PENNSYLVANIA

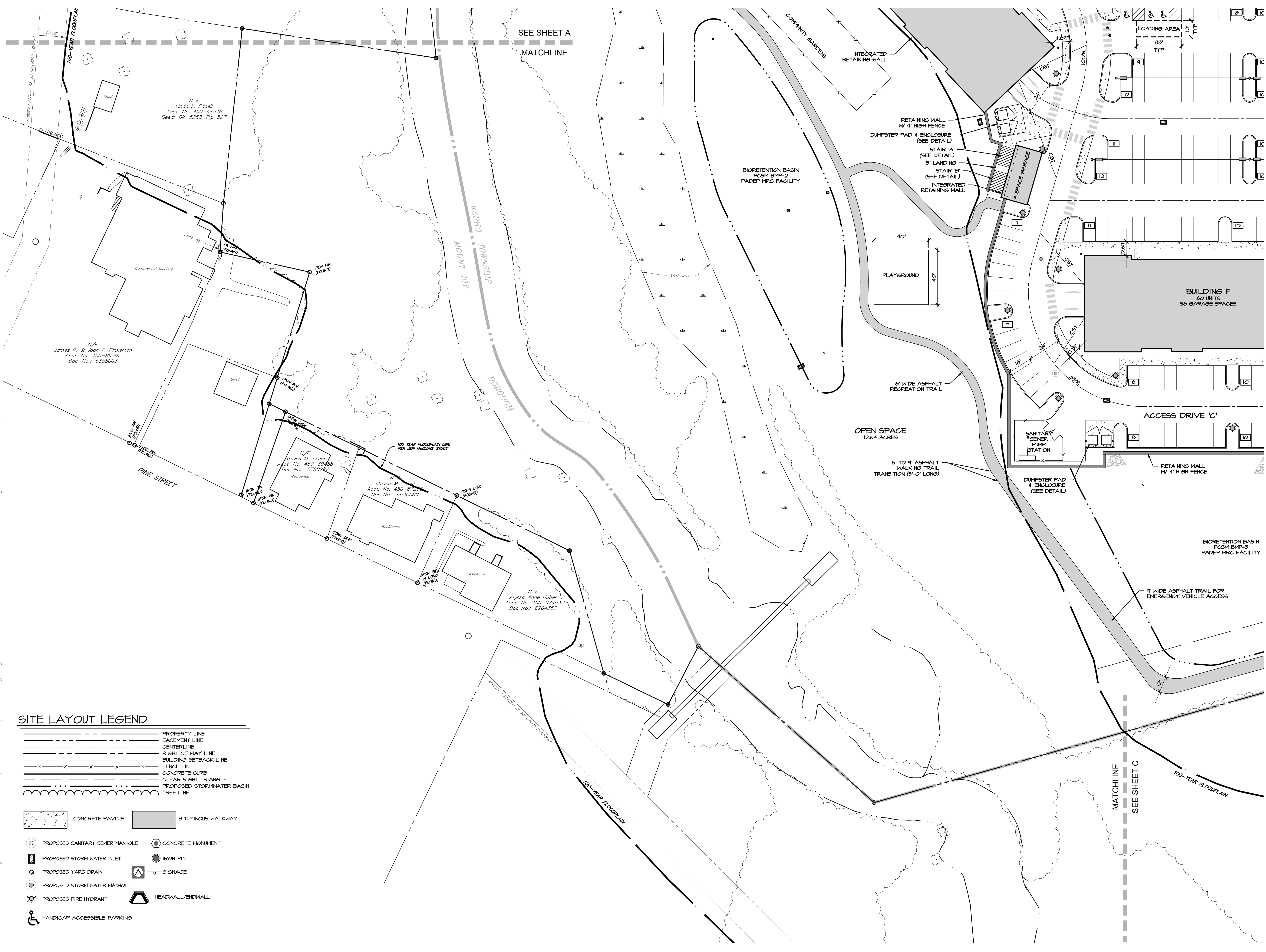
CONDITIONAL USE PLAN
 SUBJECT:
SITE LAYOUT PLAN B
 FOR
 CHIQUES CROSSING
 RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
 CLIENT:
VISTABLOCK, LLC
 150 FARMINGTON LANE
 LANCASTER, PA 17601
 717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	1" = 30'

DRAWING NO.
19 of 78

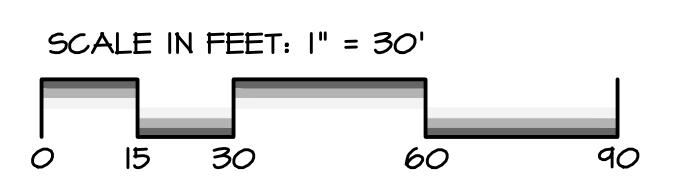
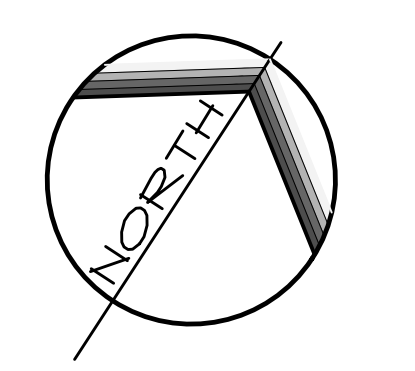
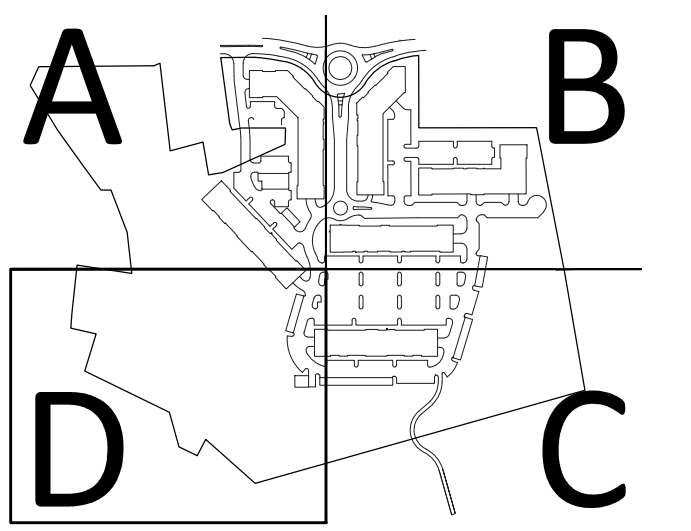
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SEE SHEET A
MATCHLINE

KEY MAP



SITE LAYOUT LEGEND

- PROPERTY LINE
 - EASEMENT LINE
 - CENTERLINE
 - RIGHT OF WAY LINE
 - BUILDING SETBACK LINE
 - x-x-x-x-x- FENCE LINE
 - CONCRETE CURB
 - CLEAR SIGHT TRIANGLE
 - PROPOSED STORMWATER BASIN
 - TREE LINE
-
- [Pattern] CONCRETE PAVING
 - [Pattern] BITUMINOUS WALKWAY
 - [Symbol] PROPOSED SANITARY SEWER MANHOLE
 - [Symbol] PROPOSED STORM WATER INLET
 - [Symbol] PROPOSED YARD DRAIN
 - [Symbol] PROPOSED STORM WATER MANHOLE
 - [Symbol] PROPOSED FIRE HYDRANT
 - [Symbol] HANDICAP ACCESSIBLE PARKING
 - [Symbol] CONCRETE MONUMENT
 - [Symbol] IRON PIN
 - [Symbol] SIGNAGE
 - [Symbol] HEADWALL/ENDWALL

REVISIONS PER:	DATE:	BY:

EA group, inc.
ENGINEERS + LANDSCAPE ARCHITECTS

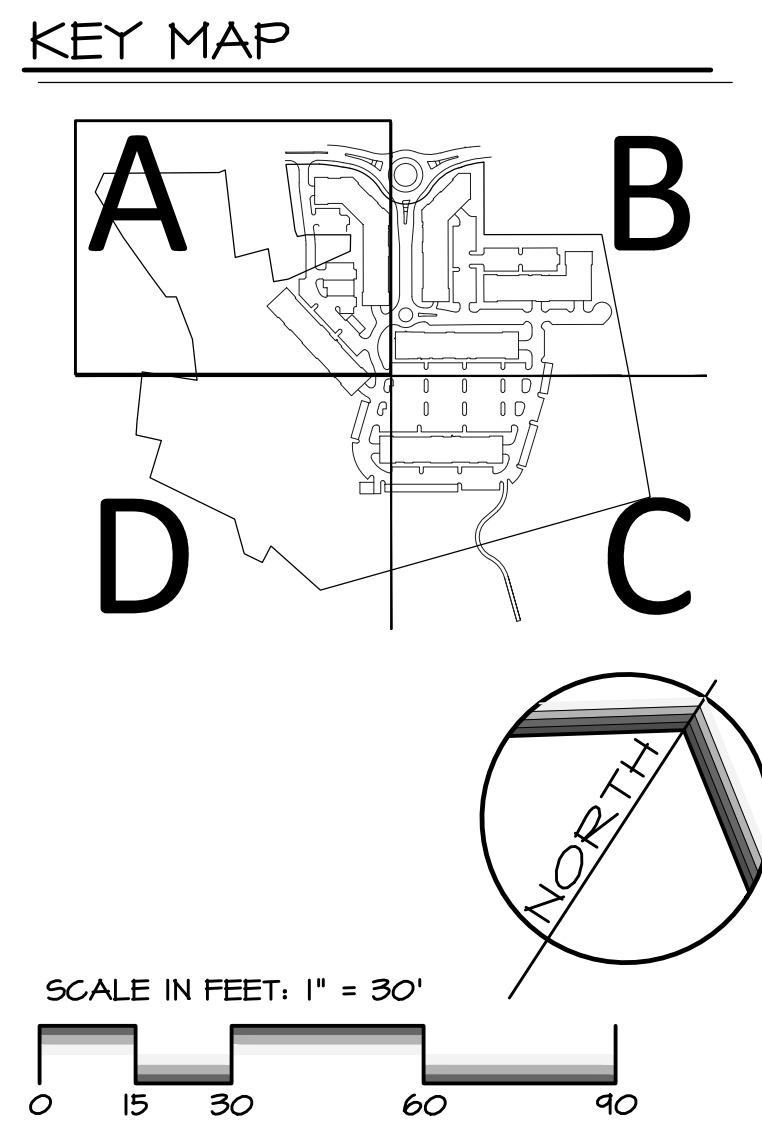
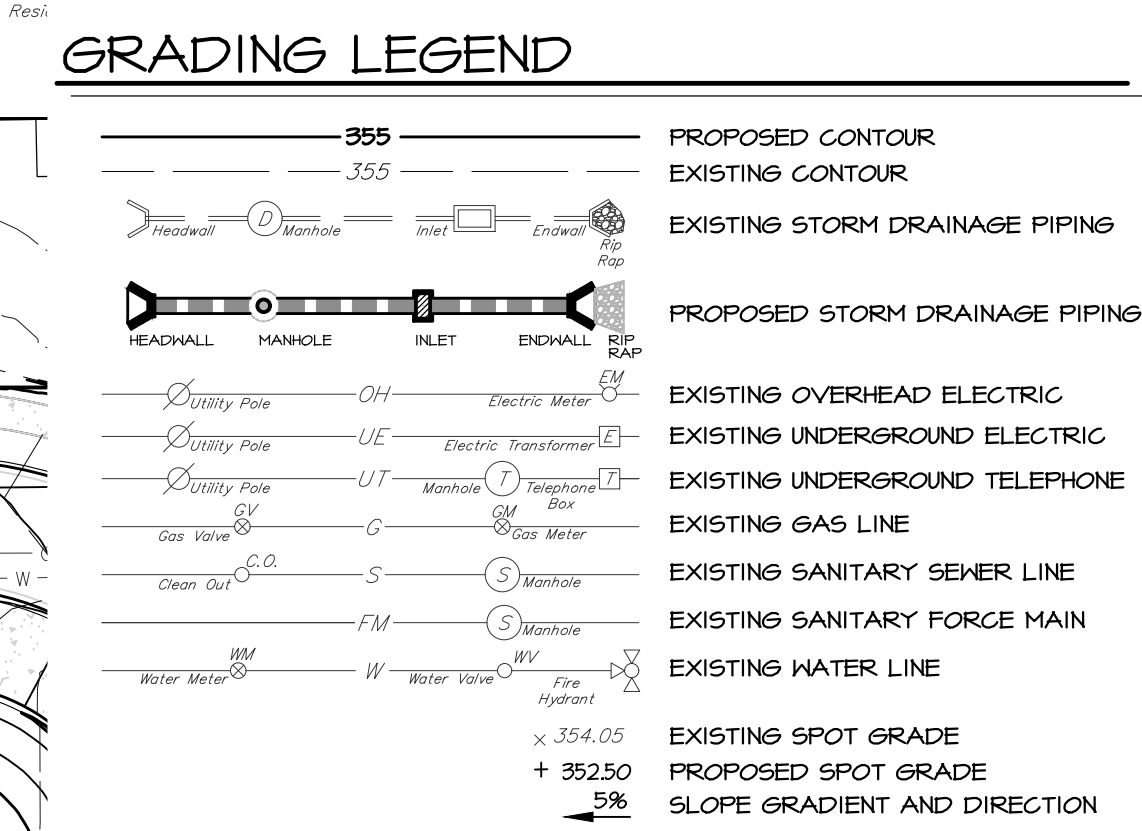
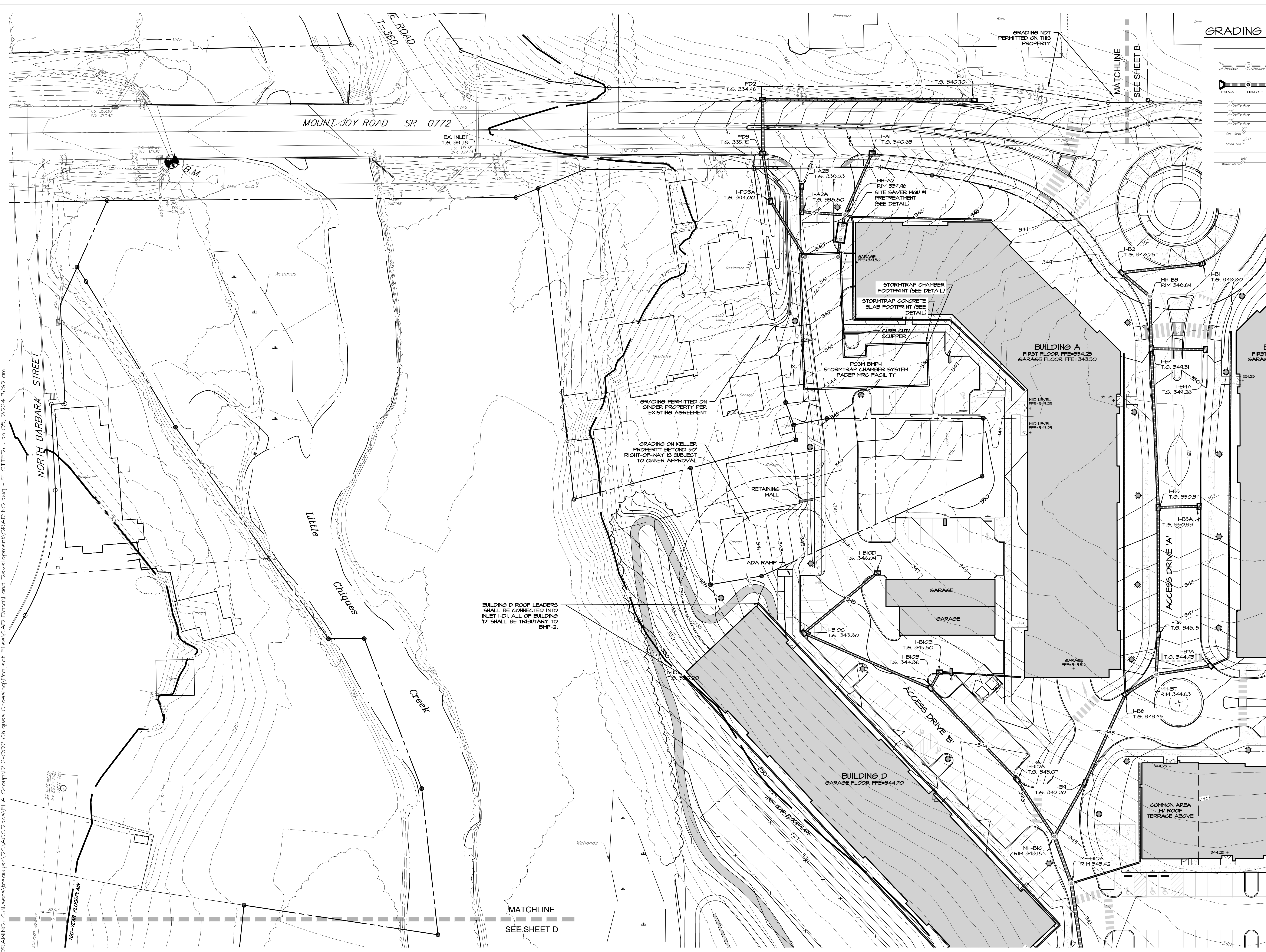
743 S. BROAD ST.
LITITZ, PA 17543
(717) 626-7271
elagroup.com

REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE08446
PENNSYLVANIA

CONDITIONAL USE PLAN
SUBJECT:
SITE LAYOUT PLAN D
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	1" = 30'

DRAWING NO.
21 of 78



REVISIONS PER:	DATE:	BY:

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ENGINEERS • LANDSCAPE ARCHITECTS

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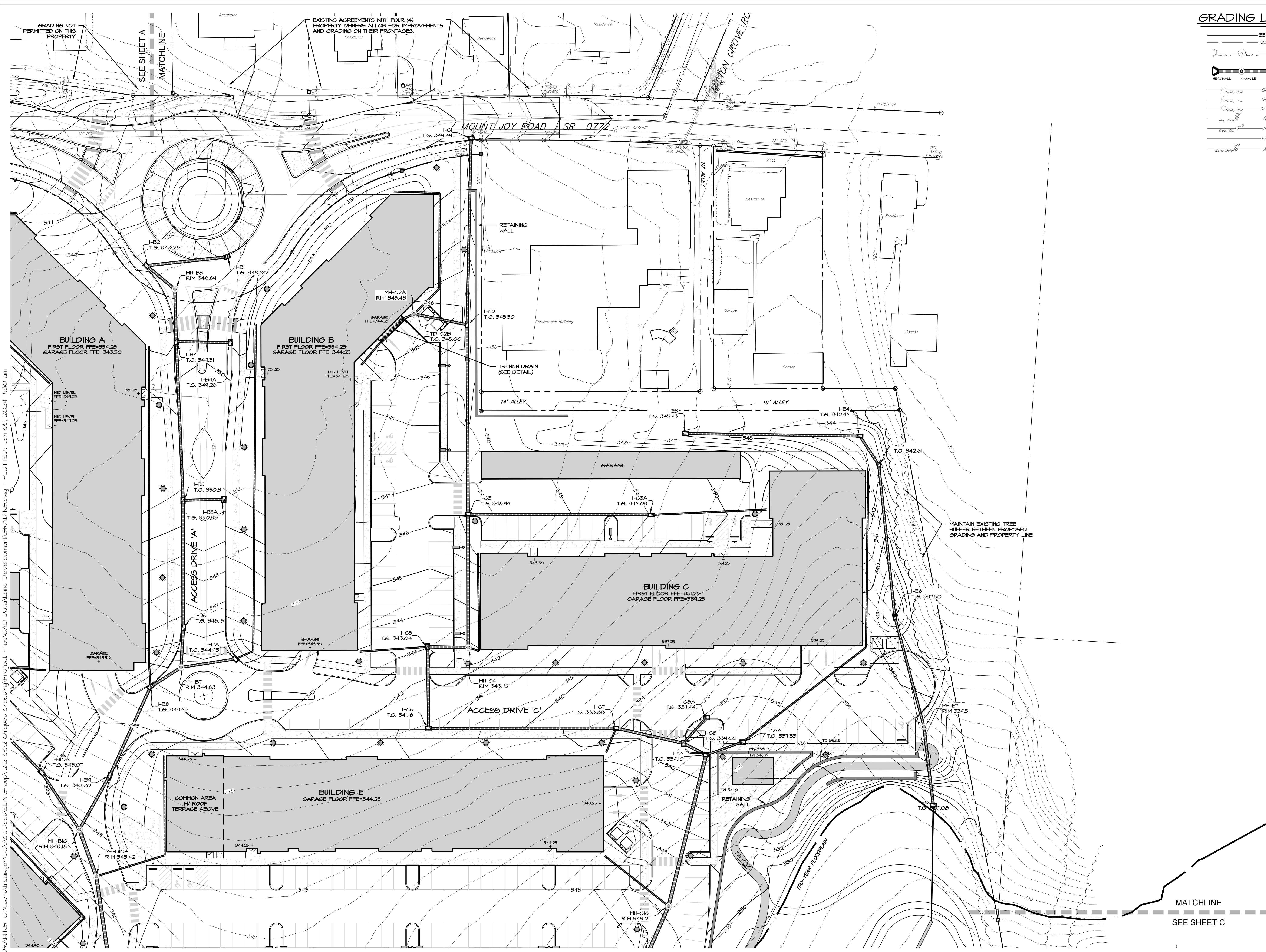
REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE084418
PENNSYLVANIA

CONDITIONAL USE PLAN
SUBJECT:
GRADING PLAN A
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER: BDG DATE: JAN. 5, 2024
DESIGNER: DJM PROJECT NO. 1212-002
DRAWN BY: BLM SCALE: 1" = 30'

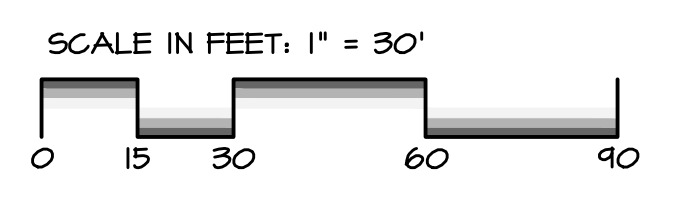
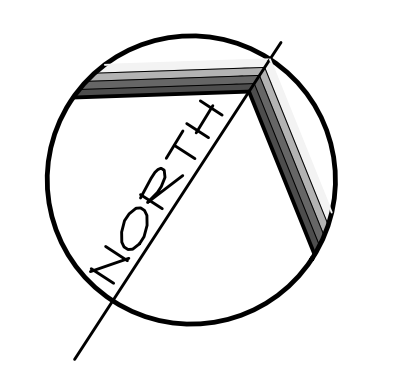
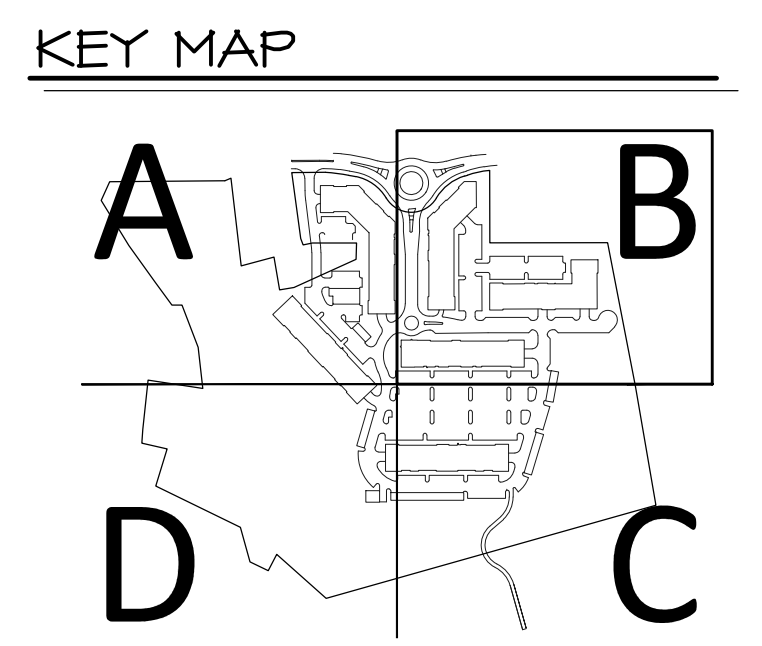
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22 of 78

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GRADING LEGEND

	PROPOSED CONTOUR
	EXISTING CONTOUR
	EXISTING STORM DRAINAGE PIPING
	PROPOSED STORM DRAINAGE PIPING
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY FORCE MAIN
	EXISTING WATER LINE
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	SLOPE GRADIENT AND DIRECTION



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ENGINEERS + LANDSCAPE ARCHITECTS

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elagroup.com

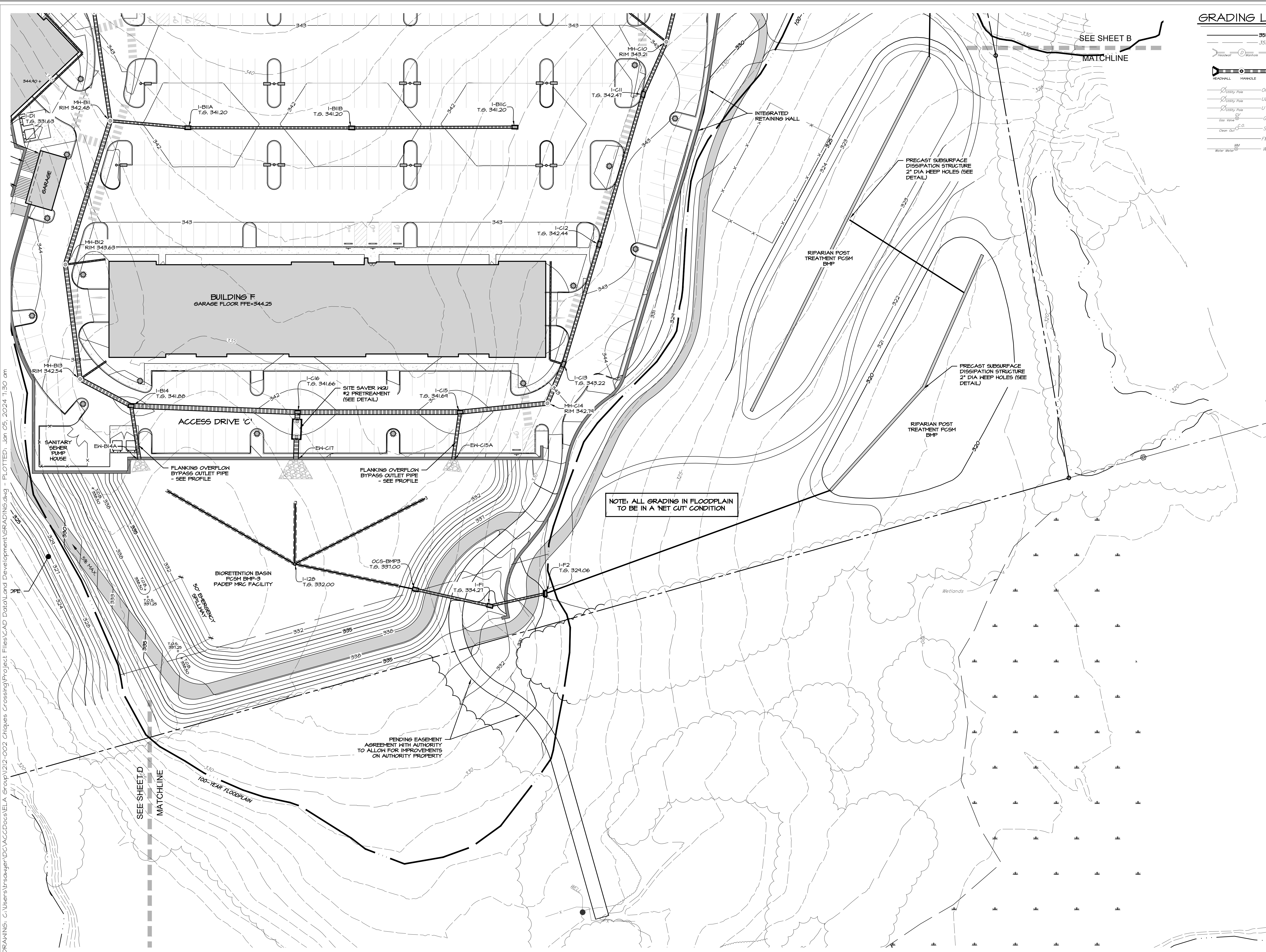
REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE084418
PENNSYLVANIA

CONDITIONAL USE PLAN
SUBJECT:
GRADING PLAN B
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER: BDG DATE: JAN. 5, 2024
DESIGNER: DJM PROJECT NO. 1212-002
DRAWN BY: BLM SCALE: 1" = 30'

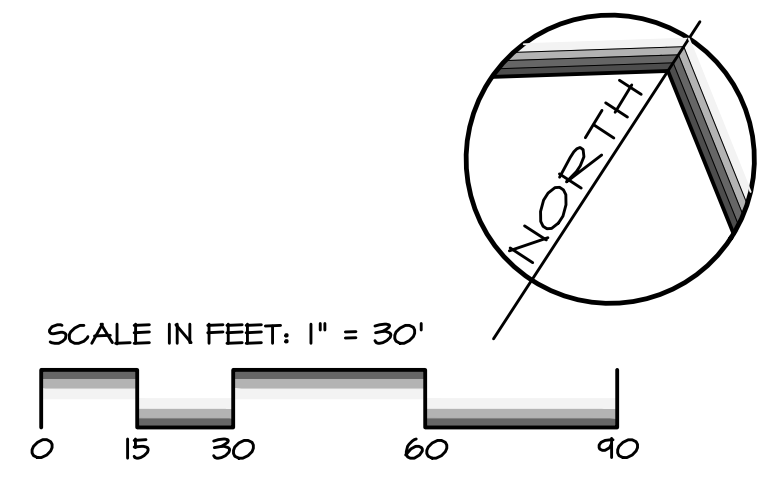
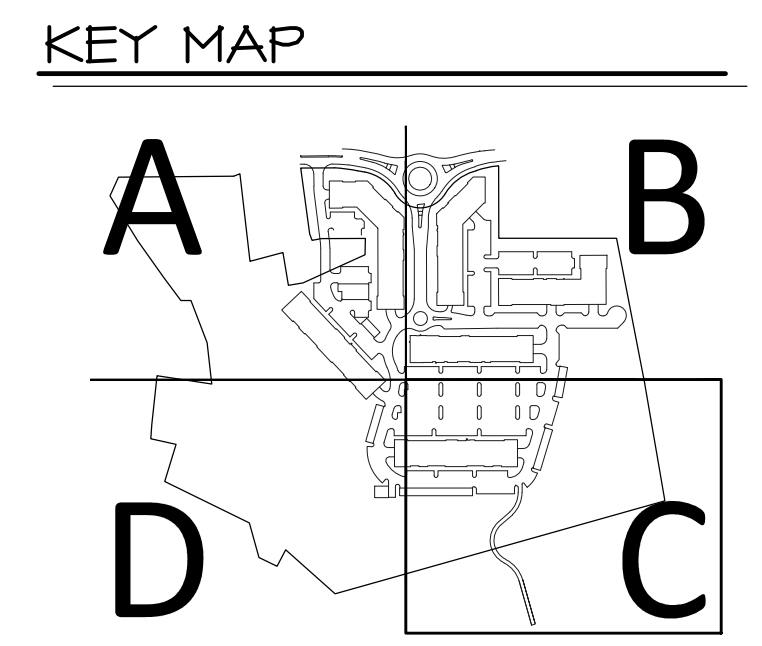
DRAWING NO.
23 of 78

DRAWING: C:\Users\Wrsawyer\Documents\EVA_Group\1212-002 Chiques Crossing\Project Files\CAD Data\Land Development\GRADING.dwg - PLOTTED: Jan 05, 2024 11:30 am



GRADING LEGEND

	PROPOSED CONTOUR
	EXISTING CONTOUR
	EXISTING STORM DRAINAGE PIPING
	PROPOSED STORM DRAINAGE PIPING
	EXISTING OVERHEAD ELECTRIC
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY FORCE MAIN
	EXISTING WATER LINE
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	SLOPE GRADIENT AND DIRECTION



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EIA group, inc.
ENGINEERS + LANDSCAPE ARCHITECTS

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LITITZ, PA 17543
(717) 626-7271
elagroup.com

REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE08449
PENNSYLVANIA

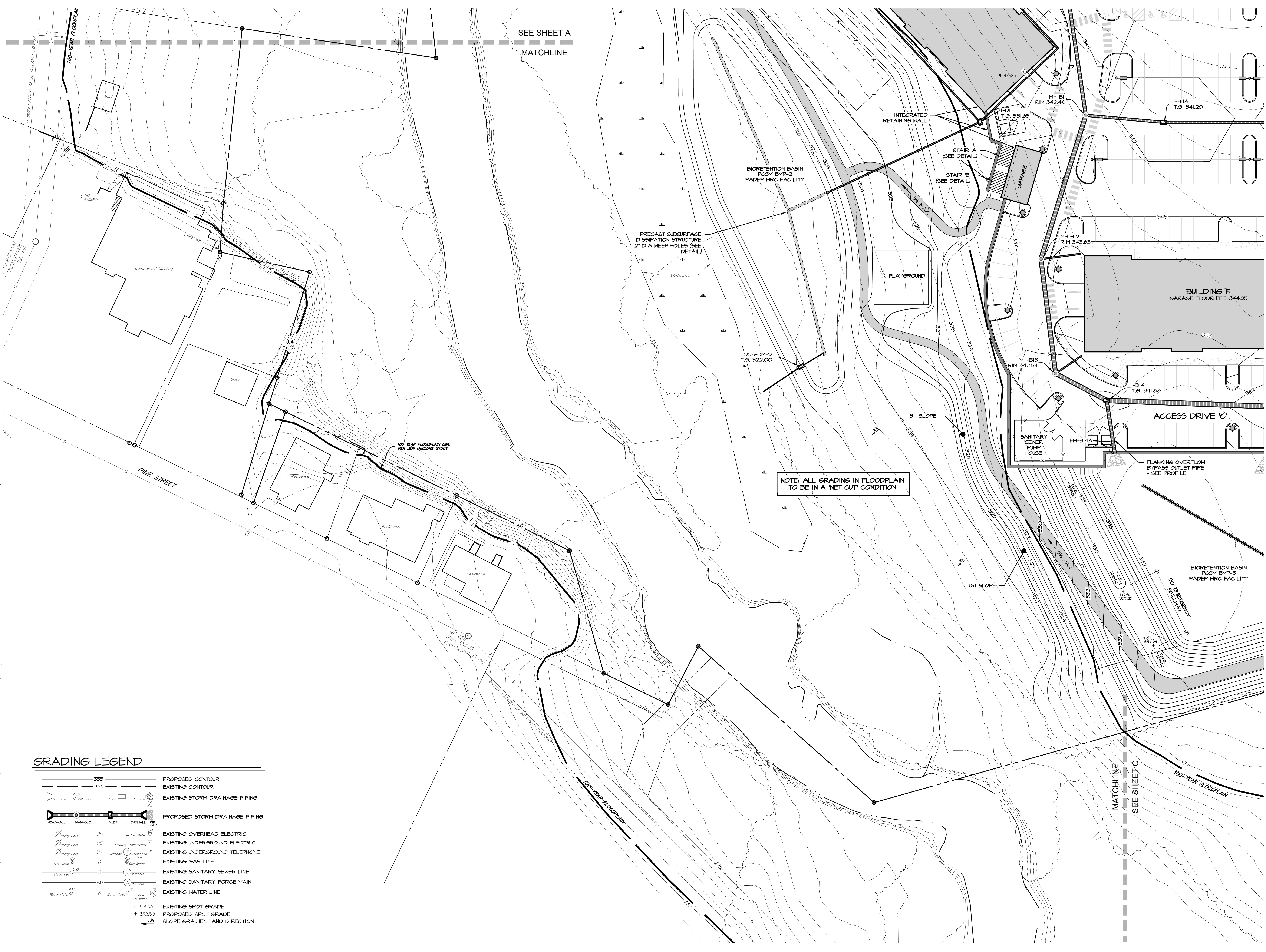
CONDITIONAL USE PLAN
SUBJECT:
GRADING PLAN C
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	1" = 30'

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24 of 78

DRAWING: C:\Users\Mrsawyer\Documents\EIA_Group\1212-002 Chiques Crossing\Project Files\CAD Data\Land Development\GRADING.dwg - PLOTTED: Jan 05, 2024 11:30 am

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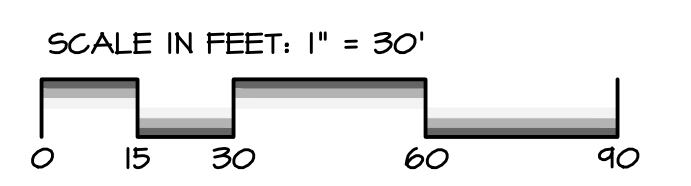
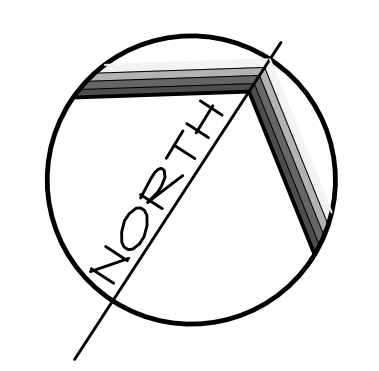
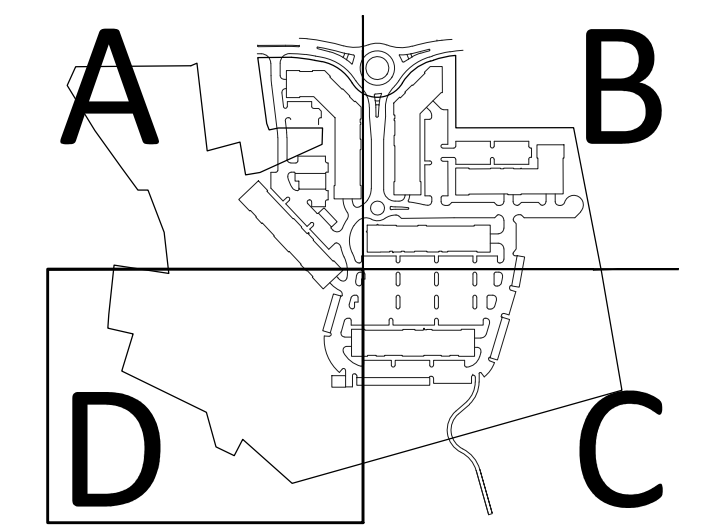
SEE SHEET A
MATCHLINE

NOTE: ALL GRADING IN FLOODPLAIN
TO BE IN A 'NET CUT' CONDITION

GRADING LEGEND

- 355 — PROPOSED CONTOUR
- - - 355 - - - EXISTING CONTOUR
- () — EXISTING STORM DRAINAGE PIPING
- () — PROPOSED STORM DRAINAGE PIPING
- () — EXISTING OVERHEAD ELECTRIC
- () — EXISTING UNDERGROUND ELECTRIC
- () — EXISTING UNDERGROUND TELEPHONE
- () — EXISTING GAS LINE
- () — EXISTING SANITARY SEWER LINE
- () — EXISTING SANITARY FORCE MAIN
- () — EXISTING WATER LINE
- 354.05 • EXISTING SPOT GRADE
- + 352.50 + PROPOSED SPOT GRADE
- 5% SLOPE GRADIENT AND DIRECTION

KEY MAP



REVISIONS PER:	DATE:	BY:

ELA group, inc.
ENGINEERS + LANDSCAPE ARCHITECTS

743 S. BROAD ST.
LITITZ, PA 17543
(717) 626-7271
elagroup.com

CONDITIONAL USE PLAN
SUBJECT:
GRADING PLAN D
FOR
CHIQUES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER:	BDG	DATE:	JAN. 5, 2024
DESIGNER:	DJM	PROJECT NO.:	1212-002
DRAWN BY:	BLM	SCALE:	1" = 30'

DRAWING NO.
25 of 78

E & S CONTROL DRAWING LEGEND

	RECYCLE TRM SPILLWAY MATTING		ROCK CONSTRUCTION ENTRANCE		TOPSOIL STOCKPILE
	EROSION CONTROL MATTING (ROLLMAX NAG 575)		INLET		STREAM
	FILTER SOCK		SAN - SANITARY SEWER LINE		STORM SEWER LINE
	18' FILTER SOCK CHECK DAM (SINGLE)		W - WATER LINE		PROPOSED LIGHT POLE
	FILTER SOCK CHECK DAM (MULTI)		420 - EXISTING CONTOUR		PROPOSED CONTOUR
	LIMIT OF STAGING AREA		LOD - LIMIT OF DISTURBANCE / NPDES PERMIT BOUNDARY		LIMIT OF SOIL TYPE
	RIP-RAP		LD - LIMIT OF DISTURBANCE / WATERSHED BOUNDARY		STW - SEDIMENT TRAP WATERSHED BOUNDARY
	CONCRETE WASHOUT AREA		USFB - U-SHAPED STONE FILTER BERM		
	TREE PROTECTION FENCE				
	ORANGE CONSTRUCTION FENCE				

SOILS LEGEND

<i>HaA</i>	HAGERSTOWN SILT LOAM, 0-3% SLOPES
<i>HaB</i>	HAGERSTOWN SILT LOAM, 3-8% SLOPES
<i>HbC</i>	HAGERSTOWN SILTY CLAY LOAM, 0-15% SLOPES
<i>HbD</i>	HAGERSTOWN SILTY CLAY LOAM, 15-30% SLOPES
<i>Hc</i>	HAGERSTOWN-URBAN LAND COMPLEX
<i>Ne</i>	NOLIN SILT LOAM

GEOTECH LEGEND

	SD-01 ○ SURFACE DEPRESSION
	GH-01 ○ ANIMAL BURROW
	SR-07 △ SURFICIAL ROCK

- NOTES:
- SITE SAVER WATER QUALITY UNITS CAN BE INSTALLED / UTILIZED AS SEDIMENT REMOVAL FACILITIES DURING CONSTRUCTION FOLLOWING CONSTRUCTION AND COMPLETE SITE STABILIZATION AND UNDER THE SUPERVISION OF THE OWNER AND SITE DESIGNER, THE CONTRACTOR SHALL DO A FINAL CLEANOUT OF THE TNO (2) SITE SAVER UNITS PER THE MAINTENANCE REQUIREMENTS FOUND ON THE PCGM PLAN AND PER MANUFACTURER REQUIREMENTS.
 - FINAL FLUSHING / WASHING OF THE STORMTRAP CHAMBER SYSTEM FOLLOWING CONSTRUCTION SHALL BE DONE IN A MANNER THAT DOES NOT FLUSH SEDIMENT LADEN RUNOFF DOWNSTREAM. ANY FLUSHED SEDIMENT FROM THE UGDS SHALL BE CONTAINED AND PUMPED TO A PUMPED WATER FILTER BAG LOCATED WITHIN AN EXISTING VEGETATED AREA.

LIMIT OF DISTURBANCE = 20 AC

RECEIVING WATERSHED
LITTLE CHIQUEES CREEK
CLASSIFICATION: HFE

REVISIONS PER:	DATE:	BY:

EVA
group, inc.
ENGINEERS + LANDSCAPE ARCHITECTS

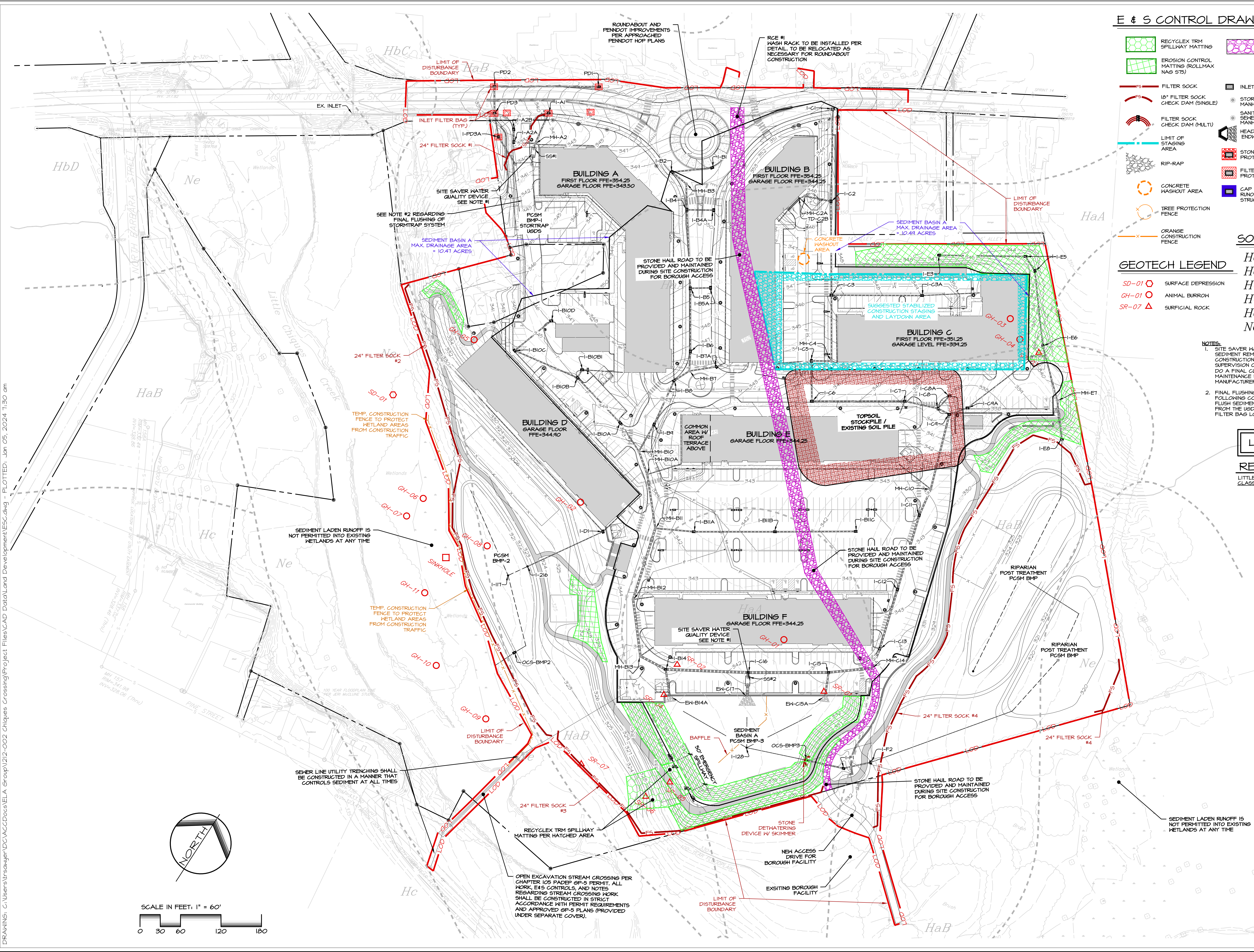
743 S. BROAD ST.
LITITZ, PA 17543
(717) 626-7271
elagroup.com

REGISTERED PROFESSIONAL ENGINEER
DERRICK JAMES MUSSER
No. PE084418
PENNSYLVANIA

CONDITIONAL USE PLAN
SUBJECT:
EROSION & SEDIMENT CONTROL PLAN
FOR
CHIQUEES CROSSING
RAPHO TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA
CLIENT:
VISTABLOCK, LLC
150 FARMINGTON LANE
LANCASTER, PA 17601
717-682-8775

MANAGER: BDG DATE: JAN. 5, 2024
DESIGNER: DJM PROJECT NO. 1212-002
DRAWN BY: BLM SCALE: 1" = 60'

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26 of 78



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