

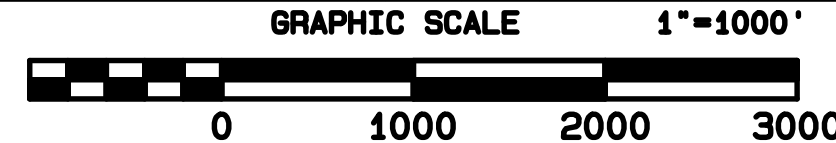
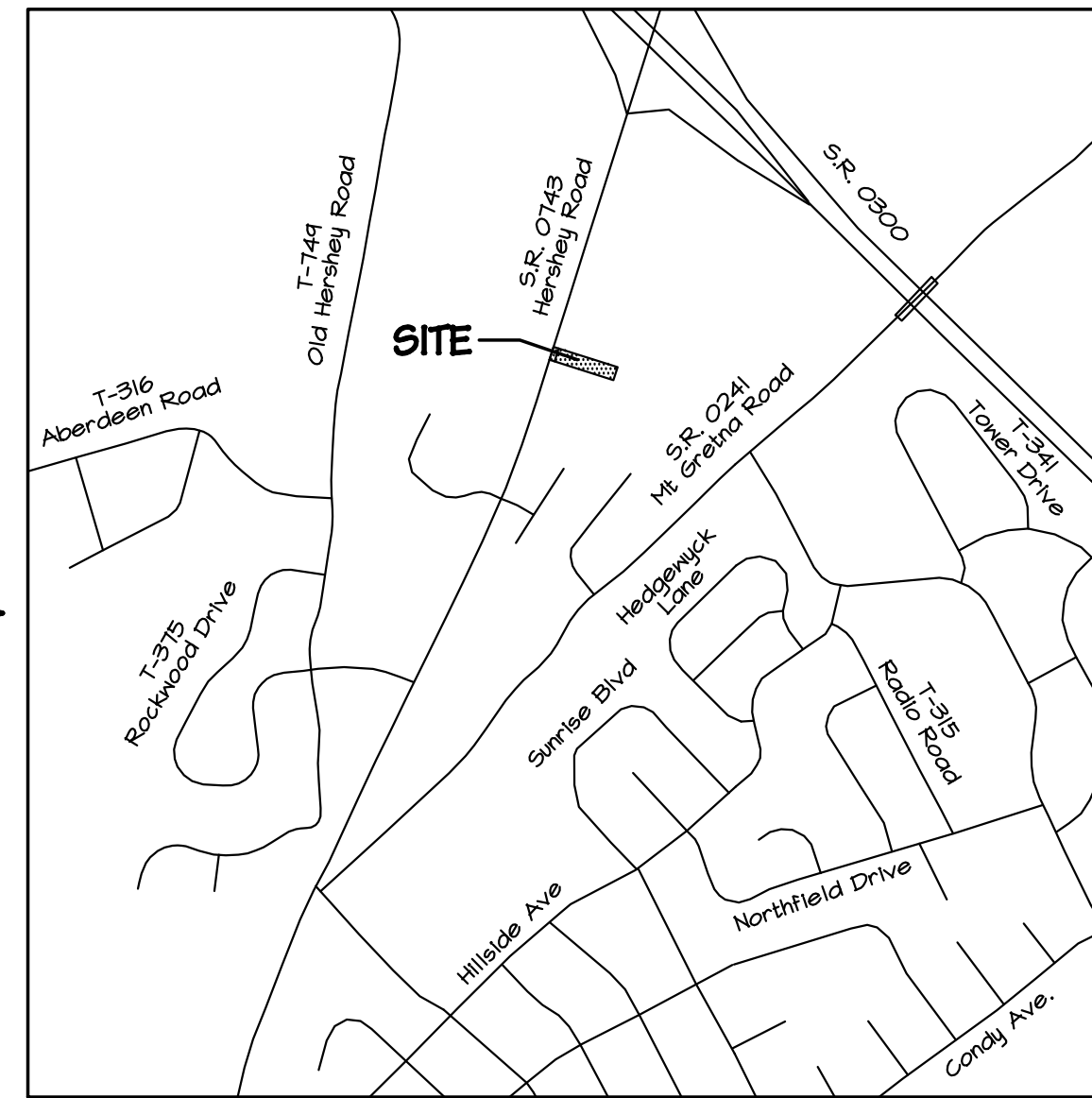
PRELIMINARY/ FINAL LAND DEVELOPMENT PLAN FOR

REPLER INVESTMENTS LP.

CENTRAL PA SWEEPERS

Situated In Mount Joy Township Lancaster County, Pennsylvania

Date: February 2, 2023 Updated: November 11, 2024 Drawing No: CS-1



LOCATION PLAN

SHEET INDEX:

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SHEET 2: LD-1 VICINITY & SITE PLAN
SHEET 3: LD-2 EXISTING CONDITIONS PLAN
SHEET 4: LD-3 PROPOSED CONDITIONS PLAN
SHEET 5: PCSMP-1 POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
SHEET 6: ES-1 EROSION AND SEDIMENTATION CONTROL PLAN
SHEET 7: IL-1 ILLUMINATION PLAN
SHEET 8: LS-1 LANDSCAPE PLAN
SHEET 9: D-1 DETAIL PLAN

SUPPLEMENTAL SHEET SET (HIGHWAY OCCUPANCY PERMIT PLAN SET)

- SHEET 1: HOP-1 HIGHWAY OCCUPANCY PLAN
SHEET 2: HOP-2 HIGHWAY OCCUPANCY PLAN
SHEET 3: HOP-3 HIGHWAY OCCUPANCY PLAN
SHEET 4: HOP-4 HIGHWAY OCCUPANCY PLAN
SHEET 5: HOP-5 HIGHWAY OCCUPANCY PLAN

ENGINEER CERTIFICATION

I hereby certify that to the best of my knowledge, the survey and plan shown and described herein is true and correct to the accuracy required by Chapter 119, Subdivision and Land Development, 11/11/2024



Max E. Stoner Pa. Lic. No. PE031770E JHA COMPANIES 3705 Trindle Road, Suite 100 Camp Hill, PA, 17011 Phone: (644) 542-4757 Email: mstoner@jhacompanies.com

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL PA 1 CALL SYSTEM, INC. 1-800-242-1776 SERIAL NO: 20221873653 (Mount Joy Township)

GENERAL NOTES:

- This plan is being prepared for the proposed construction of a 3,375 S.F. New building and a future garage having 1,440 S.F.
The Existing Residential building is serviced by Private well and Public Sewer.
Existing land use: Residential
No building permit will be issued for any lot or parcel which will require access to a State Highway until authorized by a Pennsylvania Department of Transportation Highway Occupancy Permit. A Low Volume Driveway Permit has been Applied for.
Benchmark: Concrete Monument, Elev.- 521.14 (NAVD 88)
Deed Reference: Repler Investments, LP (6650346)
Lancaster County Account No. 4601855600000
The lot owner will be responsible for the implementation and maintenance of the erosion and sedimentation control devices.
Off street parking will be provided on Lot
Area of Earth Disturbance - 0.13 Acres
Please see the Operation and Maintenance Agreement.
The operation and maintenance agreement is part of the SNM Site Plan.
Following approval of the record drawings by the township Engineer, The applicant shall submit the SNM site plan for recordation in the office of the recorder of deeds.
Record Drawings will be provided for all stormwater management facilities prior to occupancy, or the release of financial security.
The stormwater BMPs are fixtures that cannot be altered or removed without prior approval by Mount Joy Township.
A licensed professional or their designee must be present on site when the Stormwater collection trench is being installed.
The Stormwater collection area shall not be compacted with equipment during construction or the operation of the facility.
Thermal impacts will be minimized by storing the stormwater associated with the proposed building and parking area in the cistern.
Nothing shall be planted or placed within the easement which would adversely affect the function of the easement, or conflict with any conditions associated with such easement.
Proposed wall pack and canopy lighting shown on plan sheet 7, IL-1
The following waivers are requested:
1. Wetlands Study (119-32.B and 119-34.E (3)(c))
The site has no observed standing water, a dry swale on the rear property line where no work is to be accomplished and infiltration testing on two parts of the middle of the property did not show hydric soils. In addition, the property does not show as containing any wetlands on the National Wetland Inventory Map.
2. Traffic Impact Study (119-32.C(2))
The amount of traffic generated by the proposed land development is minimal and will not adversely affect traffic on Route 743 (Hershey Road). By combining the existing driveway at 380 Hershey Road with that serving 384 Hershey Road, this will improve the safety of both property owners.
3. Cartway Width For An Arterial Street (119-52.J (3)(A) & 119-53.B(2) / 119.53.C)
4. Required Spacing of 200 Feet Between Driveways (119-52.5(3)(d))
With many of the lots having a width of 75 feet along Hershey Road, there are currently 5 driveways within 200 feet of the existing driveway at 380 Hershey Road. Combining the 2 driveways into 1 for 380 and 384 Hershey Road is a definite safety improvement. In addition, the proposed turning radius will contribute to safer ingress/egress on to Hershey Road.
5. Drainage Swale Easement (119-52.5(3)(d)) to Rear of Property
The drainage swale runs along the property line. Since normally the easement runs through the middle of the swale for access purposes, the developer is proposing to provide a 15 foot wide easement along the property line with 384 Hershey Road.
6. Sidewalks Shall Be Provided Along Access Drives (119-53.B(1))
7. Concrete curbs shall be provided along the access drive and along the edge of any landscaped portions of the parking facility (119-53.C(1))
The Following Variance of the zoning ordinance was granted by the zoning hearing board on April 6, 2022:
1. A Special Exception per Section 135-7 to establish a use (i.e. Street Sweeping) not specifically provided for.
2. A Special Exception per Section 135-343.6 to reduce the number of required off-street parking spaces to a total of three plus one ADA-compliant spaces.
3. Variance from Section 135-325.D(1) - Dumpster - Yard location to permit a dumpster within the required 50' dumpster setback The Township shall be granted a blanket access easement to observe the stormwater facilities and drainage easements.
In its decision dated April 12, 2022, the Mount Joy Township Zoning Hearing Board Specifically Required that the landowner comply with its testimony and representations which included, but was not limited to: that all service and maintenance of street sweeping vehicles would take place entirely within the proposed garage and no street sweeping vehicles shall be stored outside of the buildings to be erected.

SITE DATA:

OWNER: Repler Investments LP.
Phone: 717-624-6718
MAILING ADDRESS: 1709 Cross Field Drive Lancaster Pa 17603
SITE ADDRESS: 380 Hershey road Elizabethtown Pa 17022
Existing Land Use: Single Family Residence
Proposed Land Use: Street Sweeping Business
Sewer: Public
Water: Private Well
Zoning: MU- Mixed Use within designated growth area
MINIMUM BUILDING SETBACKS: Front-35', Side-15', Rear-25'.
MINIMUM BUILDING SETBACKS FOR ACCESSORY BUILDING: Side-6', Rear-6'
MINIMUM BUILDING SETBACKS FOR OFFSTREET PARKING: Front-15' From ROW, Side-10', Rear-15'.
MIN. LOT WIDTH: 75' Existing lot with 75'

Lot Depth: 125' Min. Existing Lot Depth: 340.63'
MIN. LOT AREA 10,000 S.F. Gross Area- 27,787 S.F. or 0.64 Acres Net Area- 25,565 S.F. or 0.59 Acres
Building coverage COVERAGE 50% Max: Existing 8.4% Proposed- 17%
Building Height: Principal Building Minimum-20' Maximum-40' Proposed-35' accessory Building Maximum Height: 20' Proposed: 18'
Impervious Coverage 65% Max: Existing 20.7% Or 5,751 S.F. Proposed- 37% Or 15,838 S.F.
Density: 1.69 (1 Unit/0.59 Acres Net Lot Area)
Number Of Units Of Occupancy Existing 1 Residential Proposed 1 Non-Residential
Landscape Strip: 1 Per 750 S.F. of Reg. Landscape Strip (1,921 S.F. /750 S.F. =10.56 Trees
PARKING REQUIREMENTS: Min. one space per 300 S.F. of Floor Area Other Than warehouse or storage areas, Or sufficient space to accommodate the vehicles of all persons to be employed on the premises and to have business thereon. Existing: N/A Total spaces Required Per Zoning Hearing Board Decision of April 6, 2022: Employees/ Visitors = 3 Spaces Handicap Compliant = 1 Space Proposed- 3 Spaces and 1 accessible = 4 Total Spaces

SIDEWALK AND/OR CURB OBLIGATION ACKNOWLEDGMENT AND WAIVER

Mount Joy Township has waived the requirement that the Owner/Applicant install sidewalk and/or curb pursuant to Chapter 119, Sections 52.J (3)(a), of the May 21, 2012, Mount Joy Township Subdivision and Land Development Ordinance (SALDO) as set forth below in consideration of and conditioned upon the following:

The Owner/Applicant agrees that the Owner/Applicant, at the Owner/Applicant's sole cost and expense, install a sidewalk and/or curb along road frontage of the subject property according to the following terms:

- 1. Within 270 days of the date Owner/Applicant receives notice from the Township of an obligation to do so, Owner/Applicant shall (a) install a sidewalk and/or curb along the length of Hershey Road (Route 743) bordering the subject property (approximately 75 feet) and All sidewalks and/or curbs shall be constructed to the standards and specification contained within any Mount Joy Township Subdivision and Land Development Ordinance then in effect
2. Within 90 days of the date Owner/Applicant receives notice from the Township of an obligation to install a sidewalk and/or curb on the subject property, Owner/Applicant shall post financial security, in such forms as is required by the Township, to ensure completion of the sidewalk and/or curb in an amount determined by the Mount Joy Township Board of Supervisors sufficient to complete the installation of the sidewalk and/or curb plus Ten (10%) percent. Failure to post financial security shall be a violation of any Mount Joy Township Subdivision and Land Development Ordinance in effect.
3. In the event the Owner/Applicant fails to complete installation of the sidewalk and/or curb in a timely manner, the Township may, but shall not be obligated to, complete the installation of the sidewalk and/or curb at the cost and expense of the Owner/Applicant, plus Ten (10%) percent for the Township's expense associated with the same, which percentage the Owner/Applicant hereby agrees is a fair and accurate estimate of the additional expense incurred by the Township to complete the sidewalk and/or curb, which is the responsibility of the Owner/Applicant. Failure to complete installation of the sidewalk and/or curb in a timely manner shall be a violation of any Mount Joy Township Subdivision and Land Development Ordinance then in effect.

OWNER'S ACKNOWLEDGEMENT

that the stormwater BMPs are fixtures that cannot be altered or removed without prior Approval of the Municipality. Record Drawings will be provided for all stormwater management facilities prior to occupancy, or the release of financial security

CROSS EASEMENT AGREEMENT

The owners/developers do hereby reserve the right for Mount Joy Township and their representatives to access the total property shown here in for the purpose of inspecting the operation and maintenance of existing stormwater facilities. This shall include all rights of ingress and egress over and upon the roadways, sidewalks, and parking areas which shall be designated as common use easement areas. All existing stormwater facilities including drainage swales, stormwater trenches, collection conveyance systems and cistern, shall be determined as part of the stormwater easement.

PUBLIC UTILITIES:

- Centurylink Contact: Customer service Http://www.centurylink.com 1-800-244-1111
Comcast Cable Communications Inc. Middletown Pa 17057 Contact: Office Personnel Email: www.comcast.net 1-800-545-1141
Elizabethtown Area Water Authority 211 N. Hummelstown St. Elizabethtown, PA 17022 717-367-1448 EAWA@etown-water.com
Elizabethtown Regional Sewer Authority 235 Era Drive Elizabethtown, PA 17022 717-367-5447 gaye@ersopa.com
Mount Joy Township 8853 Elizabethtown Road Elizabethtown, PA 17022 717-4-367-8917 Justin@mtjoytwp.org
FPL Electric Utilities 651 Delip Road Lancaster Pa 17601 717-291-3000
UGI Utilities Inc. 1301 Alp Drive Middletown, Pa 17057 Contact: Joanne Archfield 1-800-276-2122

MOUNT JOY TOWNSHIP SUPERVISORS

This plan approved by the Board of Supervisors of Mount Joy Township this day of 2024. Chairman Secretary

MOUNT JOY TOWNSHIP PLANNING COMMISSION

At a meeting on 2024, the Mount Joy Township Planning Commission approved this project, including the complete set of plans and information which are filed with the Commission in Mount Joy Township Planning Commission File No. based upon its conformity with the standards of Chapter 119, Subdivision and Land Development.

MOUNT JOY TOWNSHIP SWM SITE PLAN APPROVAL CERTIFICATION

At a meeting on 2024, the Mount Joy Township Planning Commission approved this project, and all conditions have been met. This approval includes the complete set of plans and information which are filed with the Township in Mount Joy Township Planning Commission File No. based upon its conformity with the standards of Chapter 113, Stormwater Management.

HIGHWAY OCCUPANCY NOTE

A highway occupancy permit is required pursuant to Section 420 of the Act of June 1, 1945 (P.L. 1242, No. 428), known as the "State Highway Law," before access to a state highway is permitted. Access to the state highway shall be as authorized by a highway occupancy permit and the Planning Commission's approval of this plan in no way implies that such a permit can be acquired

DRIVEWAY CERTIFICATION

I hereby certify that, consistent with the regulations of the Pennsylvania Department of Transportation, a permit can be issued to allow driveway(s) and or street(s) to be connected at the locations shown hereon.



Max E. Stoner Pa. Lic. No. PE031770E

PRIOR PLAN CERTIFICATION

I hereby certify that, with the best of my knowledge, this set of drawings identifies all prior plans, including notes or restrictions affecting the current development, and that the list is complete and correct.



Max E. Stoner Pa. Lic. No. PE031770E

Repler Investments LP

OWNER CERTIFICATION

It is hereby certified that the undersigned is the owner of the within plat and that all streets or parts of streets and not previously dedicated are hereby tendered for dedication to public use.

Owner Repler Investments LP

LANCASTER COUNTY PLANNING DEPARTMENT'S REVIEW CERTIFICATE

This Plan, bearing LCPC File No. was reviewed by staff of the Lancaster County Planning Department on as required by the Pennsylvania Municipalities Planning Code, Act 247 of 1968, as amended. This Certificate does not represent nor guarantee that this plan complies with the various ordinances, rules, regulations, or laws of local municipality, the commonwealth, or the federal government.

Chairman Vice Chairman

CARBONATE GEOLOGY CERTIFICATION

I, Max Stoner P.E., certify that the proposed BMP facility is not underlain by carbonate geology.

Engineer Max E. Stoner

NOTARY CERTIFICATION

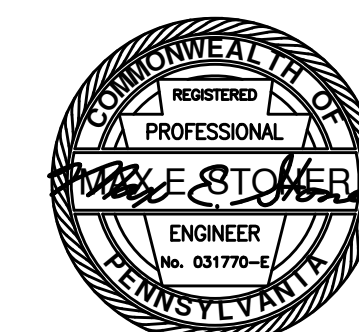
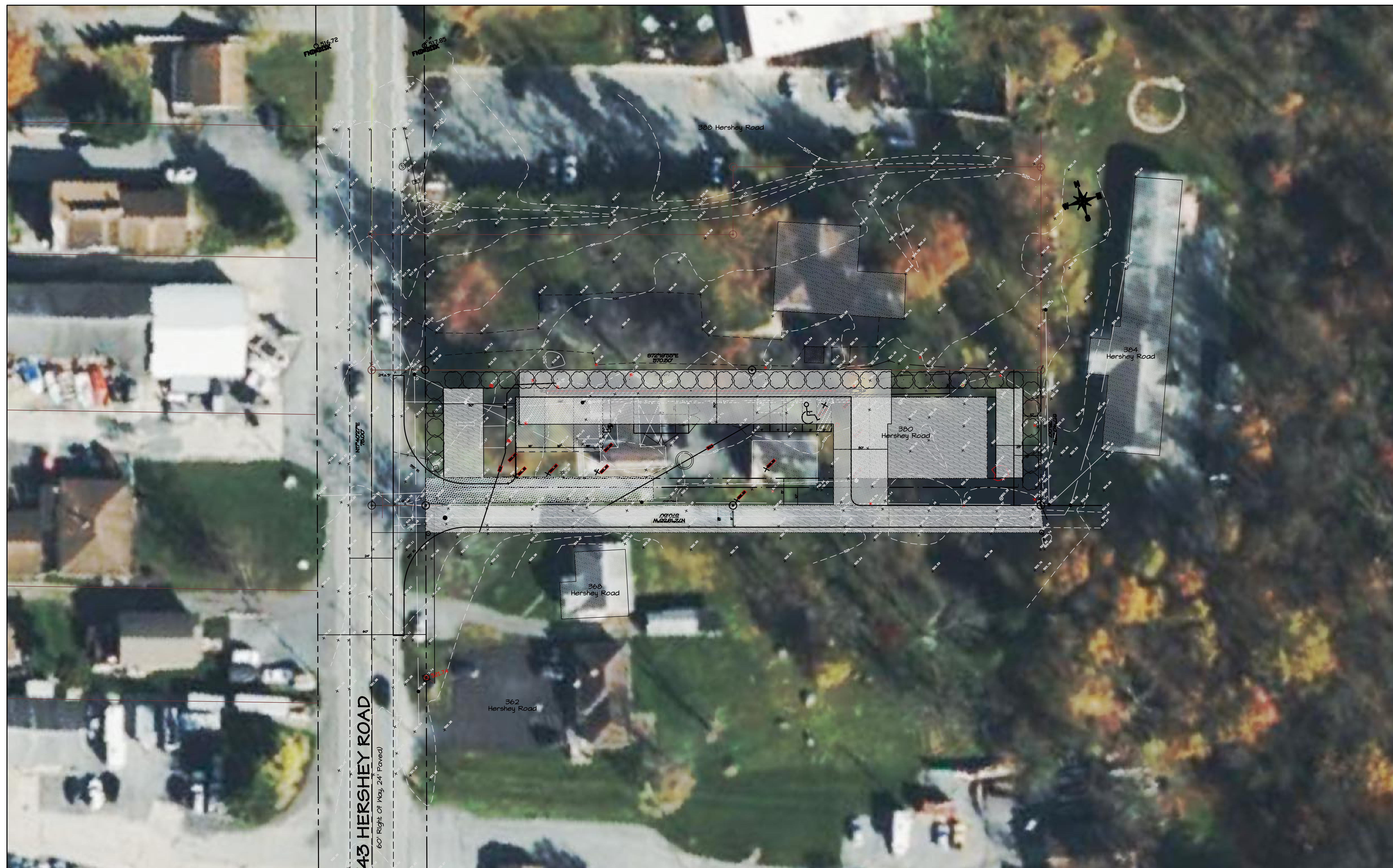
Commonwealth of Pennsylvania County of On this day of 2024, before me, the undersigned personally appeared

Owner(s) Repler Investments LP

who being duly sworn according to law deposes and says that they are the owners of the property shown on this plat and that they acknowledge the same to be their act and plan and desire the same to be recorded as such according to law. Witness my hand and seal the day and date written.

My commission expires NOTARY PUBLIC

Table with 2 columns: REVISIONS, Date. Rows: Twp. Eng. 2/24/2024, Twp. Eng. 4/06/2024, Twp. Eng. 11/11/2024



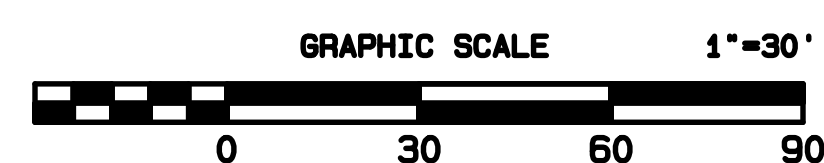
S.R. 0743 HERSHEY ROAD
60' Right Of Way, 24' Paved

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PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN STAGE - STOP CALL



PA 1
CALL SYSTEM, INC.
1-800-242-1116
Serial #20221813653



SOILS TYPES:

Hq- Holly Silt Loam
M&B- Mount Lucas Very Stony Silt Loam 3to12 % Slopees

HIGHWAY OCCUPANCY PERMIT

Access to the State highway is authorized by a State Highway
Occupancy Permit. No building construction or work within
the State highway r/w may commence without said permit.

WETLANDS NOTE:

All wetland areas, including riverine systems, are to be
protected and remain undisturbed. No wetlands exist on
the mapping for this property.

LEGEND

- Sign
- X Spot Elevation
- X(BE) Proposed Elevation
- OH Overhead Telephone Line
- US/T Underground Telephone Line
- E Overhead Electric Line
- US/E Underground Electric Line
- W Existing Waterline
- LS Light Standard
- PC Property Corner
- EC Existing Contour
- TRF Turf Reinforcement Matting
- RCE Rock Construction Entrance
- ST Embankment Sediment Trap
- Right of Way
- Fence Line
- Deep Probe
- Unsuitable Probe
- shrub
- Utility Pole
- Concrete Monument
- Property Adjoiners
- Soil Types
- Building Setback Line
- Silt Soxx
- Proposed Contour
- IP Inlet Protection
- Stone Inlet Protection & Berm
- To be Demolished

MARK	REVISIONS	DATE
1	Response to Township Comments	2/24/24
2	Response to Township Comments	9/06/24
3	Response to Township Comments	11/11/24
FILE NAME:		
FILE DATE:		

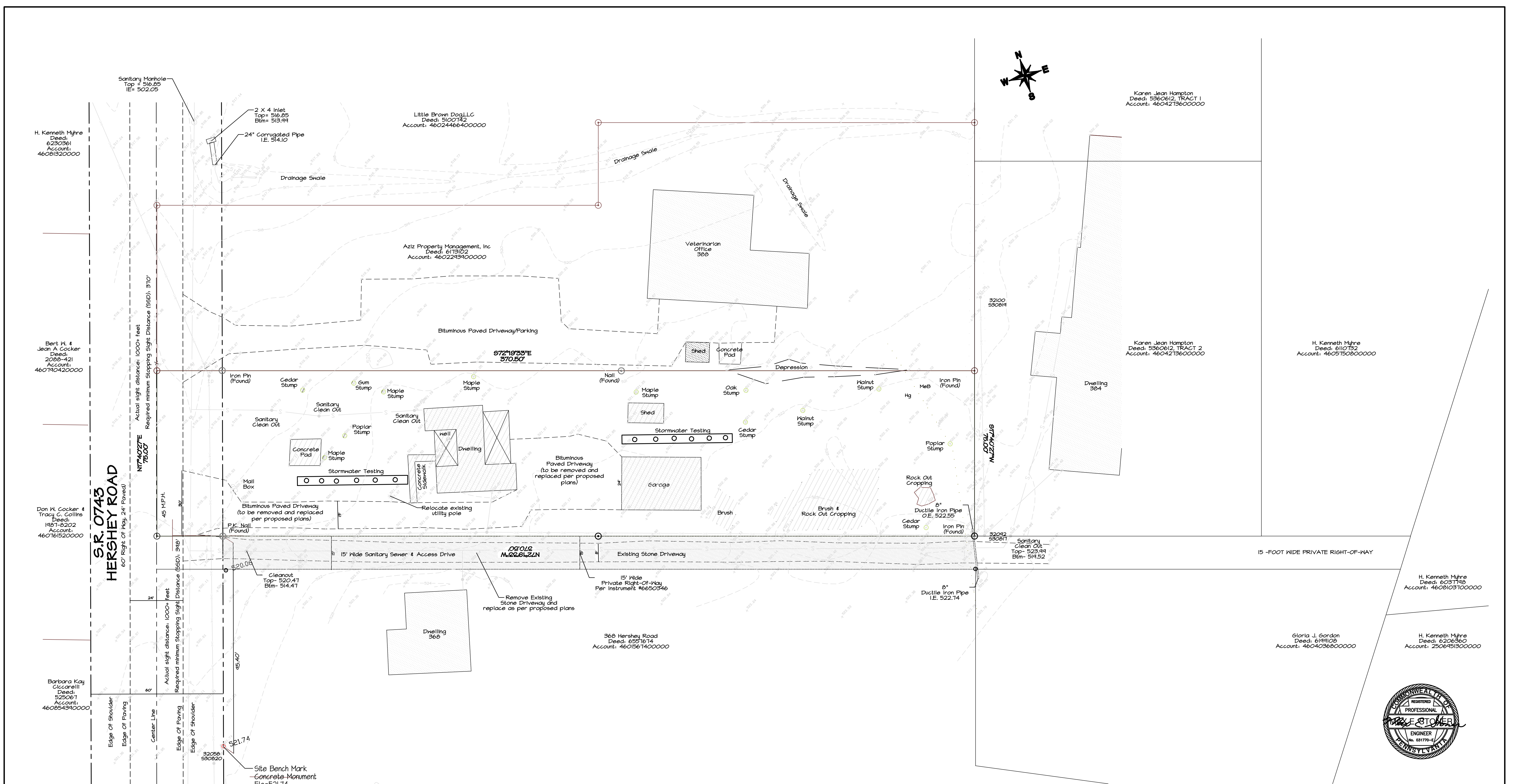
REPLER INVESTMENTS, LP.
MOUNT JOY TOWNSHIP
LANCASTER COUNTY, PENNSYLVANIA

VICINITY & SITE PLAN
380 HERSHEY ROAD
ELIZABETHTOWN, PA 17022

JHA SURVEYING ENGINEERING ENVIRONMENTAL ARCHITECTURE
3705 TRINDLE ROAD, SUITE 100,
CAMP HILL, PA 17011
MD NY OH PA VA WV

DRAWN BY:	APPROVED:	SCALE:	DRAWING NO.
DESIGNED BY:	ENGINEER:	AS NOTED	LD-1
CHECKED BY:	DATE:	FILE CODE:	8262202
		SHEET 2 of 9	

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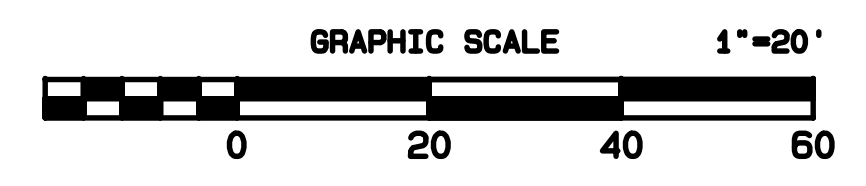
ITEMS TO BE DEMOLISHED

- Existing Structures
- Existing Driveways & Sidewalks
- Existing Stumps, Bushes, & Rock Outcrops

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- u- Underground Telephone Line
- oe- Overhead Electric Line
- ue- Underground Electric Line
- w- Existing Waterline
- Light Standard
- Property Corner
- Existing Contour
- Turf Reinforcement Matting
- Rock Construction Entrance
- Embankment Sediment Trap
- 30' Drainage Easement
- Right of way
- Fence Line
- Deep Probe
- Unsuitable Probe
- shrub
- Utility Pole
- Concrete Monument
- Property Adjoiners
- Soil Types
- Building Setback Line
- Silt Sox
- Proposed Contour
- Inlet Protection
- Stone Inlet Protection & Berm
- To be Demolished
- 15' Right Of Way

MARK	REVISIONS	DATE
⚠	Response to Township Comments	2/24/24
⚠	Response to Township Comments	9/06/24
⚠	Response to Township Comments	11/11/24

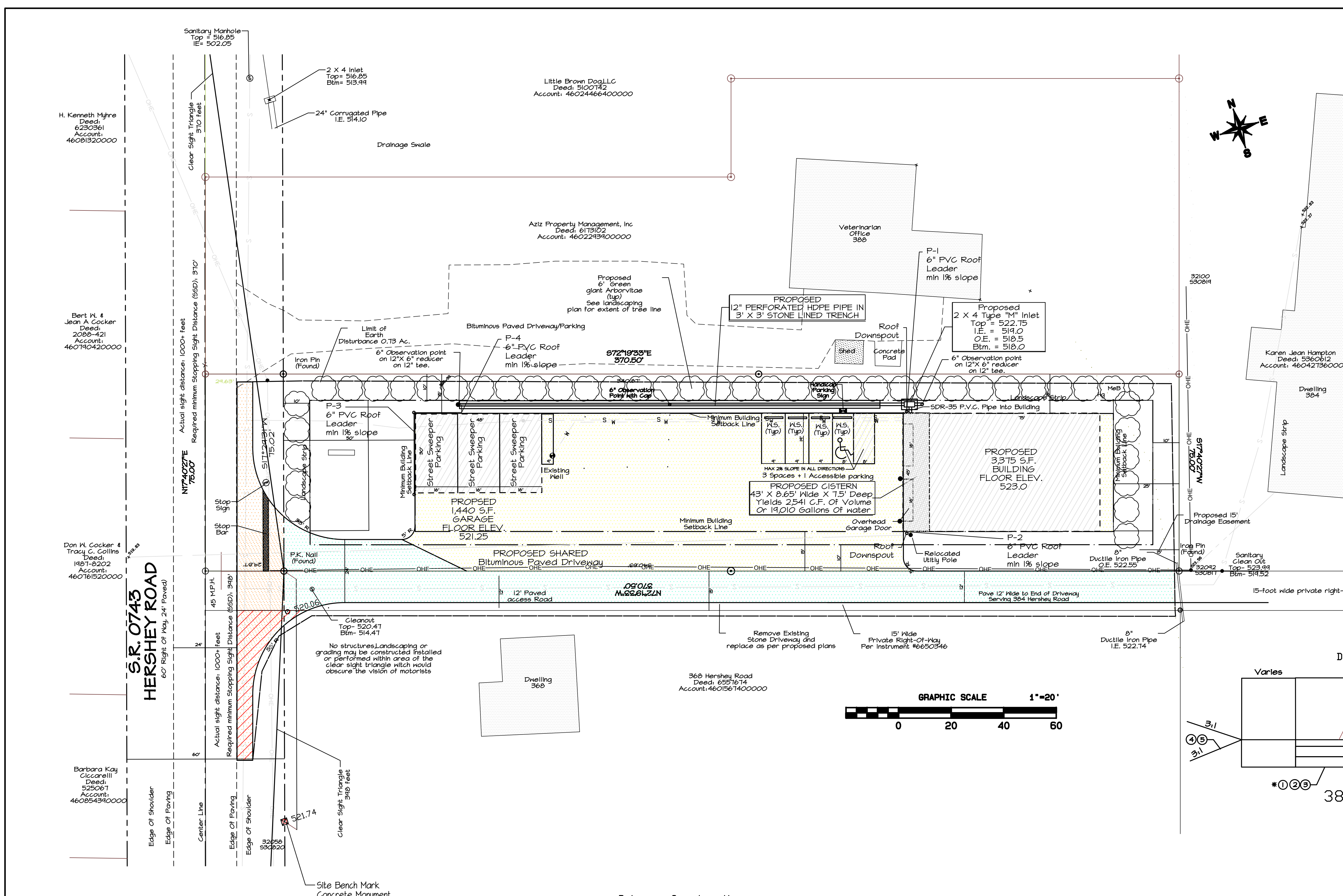
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LANCASTER COUNTY, PENNSYLVANIA

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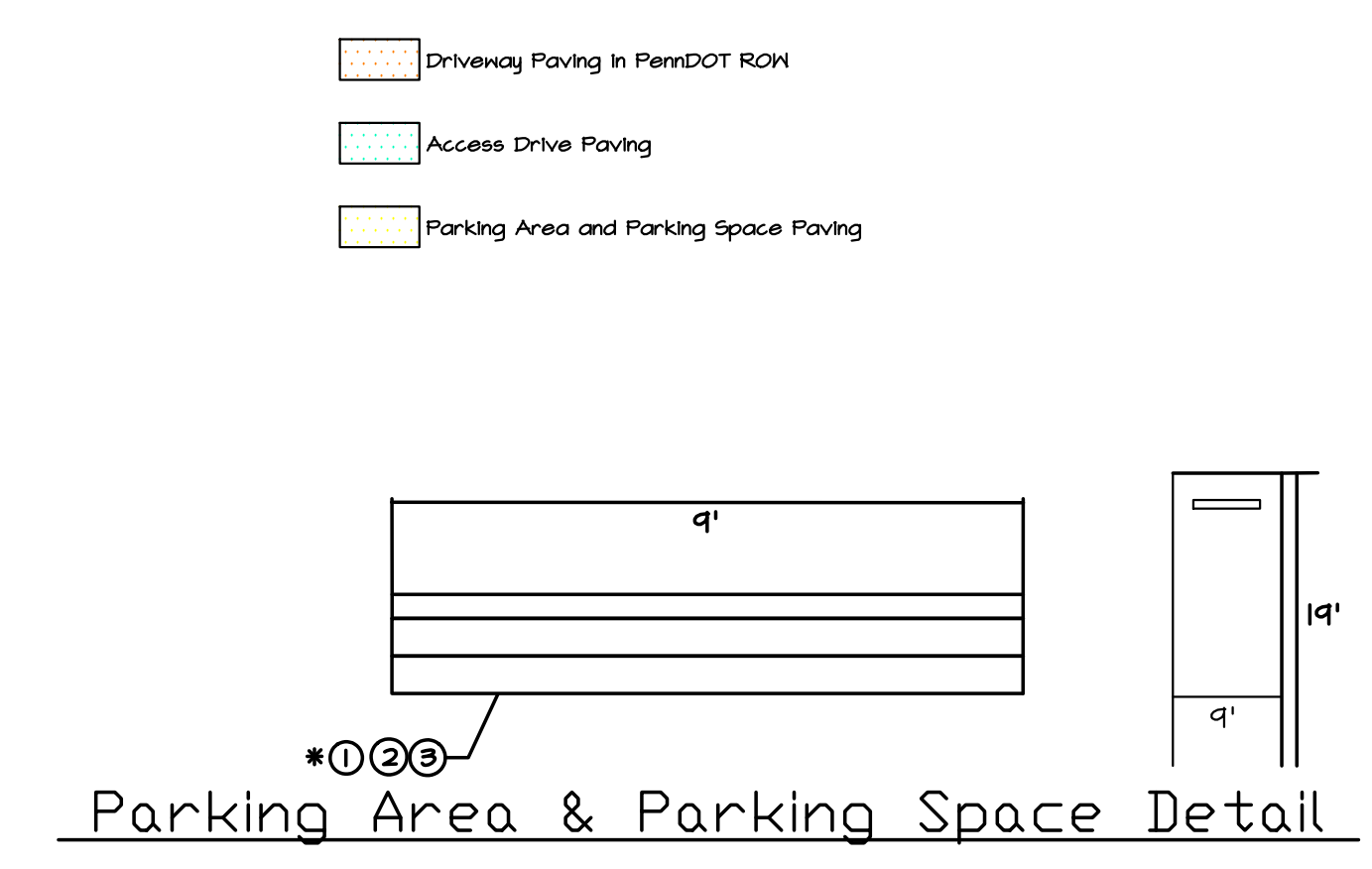
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DESIGNED BY:	ENGINEER:	AS NOTED	LD-2
CHECKED BY:	DATE:	FILE CODE:	SHEET 3 of 9
FILE NAME:		8262202	
FILE DATE:			

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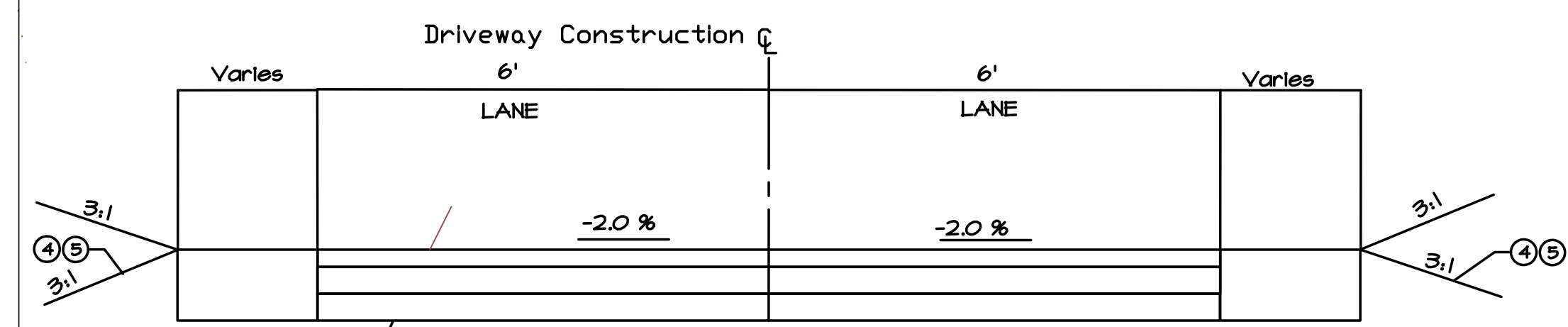


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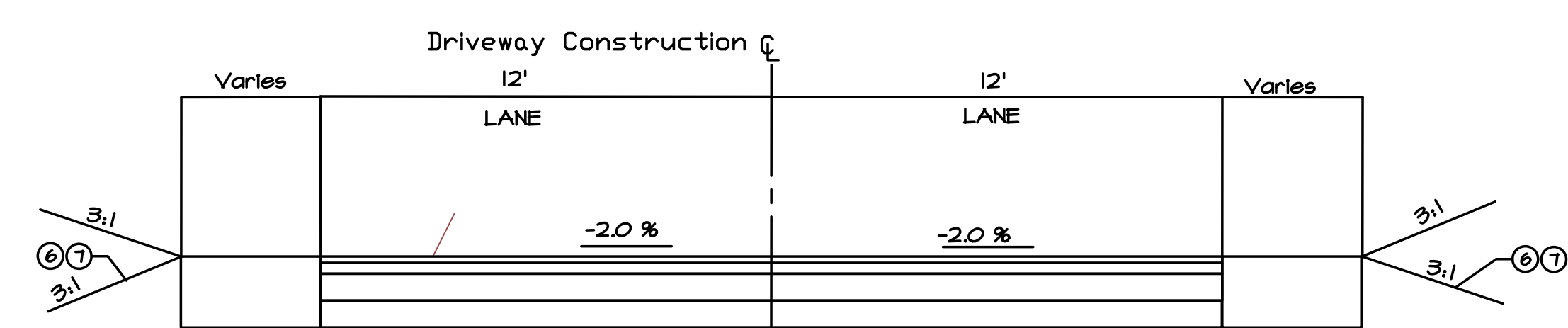
—●— Existing Sanitary Sewer	—●— Existing Sanitary Sewer
—●— Proposed Sanitary Sewer	—●— Proposed Sanitary Sewer
—●— Right Of Way	—●— Right Of Way
—●— Fence Line	—●— Fence Line
—●— Deep Probe	—●— Deep Probe
—●— Unstable Probe	—●— Unstable Probe
—●— Overhead Telephone Line	—●— Overhead Telephone Line
—●— Undergr. Telephone Line	—●— Undergr. Telephone Line
—●— Overhead Electric Line	—●— Overhead Electric Line
—●— Existing Undergr. Electric Line	—●— Existing Undergr. Electric Line
—●— Proposed Undergr. Electric Line	—●— Proposed Undergr. Electric Line
—●— Existing Waterline	—●— Existing Waterline
—●— Proposed Waterline	—●— Proposed Waterline
—●— Light Standard	—●— Light Standard
—●— Property Corner	—●— Property Corner
—●— Existing Contour	—●— Existing Contour
—●— Proposed Contour	—●— Proposed Contour
—●— Inlet Protection	—●— Inlet Protection
—●— Stone Inlet Protection & Berm	—●— Stone Inlet Protection & Berm
—●— Turf Reinforcement Matting	—●— Turf Reinforcement Matting
—●— Rock Construction Entrance	—●— Rock Construction Entrance
—●— Embankment Sediment Trap	—●— Embankment Sediment Trap



- MATERIALS LIST:**
- ① Wearing course, 1" Depth
 - ② Base Course, 3" Depth
 - ③ Subbase, 8" Depth (No. 2a)
- * ASPHALT TACK COAT APPLIED BETWEEN EACH PAVEMENT LAYER



- MATERIALS LIST:**
- ① Wearing course, 1-1/2" Depth
 - ② Base Course, 4" Depth
 - ③ Subbase, 8" Depth (No. 2a)
 - ④ Topsoil, 4" Depth
 - ⑤ Seeding and soil supplements - Formula B
- * ASPHALT TACK COAT APPLIED BETWEEN EACH PAVEMENT LAYER



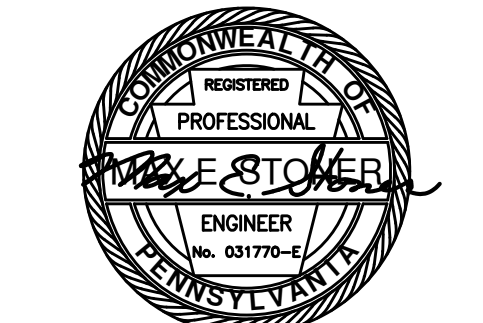
- MATERIALS LIST:**
- ① Superpave Asphalt Mixture Design, Wearing course PG 645-22, 0.3 To <3.0 Million Esals, 12.5 MM Mix, 2.0" Depth, SRL-G
 - ② Superpave Asphalt Mixture Design, Binder course PG 645-22, 0.3 To <3.0 Million Esals, 19.3 MM Mix, 3.0" Depth,
 - ③ Superpave Asphalt Mixture Design, Base course PG 645-22, 0.3 To <3.0 Million Esals, 25.0 MM Mix, 5.0" Depth Or match Existing, Whichever is greater
 - ④ Subbase, 10" Depth (No. 2a) (Or match existing, Whichever is greater)
 - ⑤ Full depth saw cut and seal with PG 645-22
 - ⑥ Topsoil, 4" Depth
 - ⑦ Seeding and soil supplements - Formula B
 - ⑧ Embankment material
 - ⑨ 6" Pavement base drain
- * ASPHALT TACK COAT APPLIED BETWEEN EACH PAVEMENT LAYER

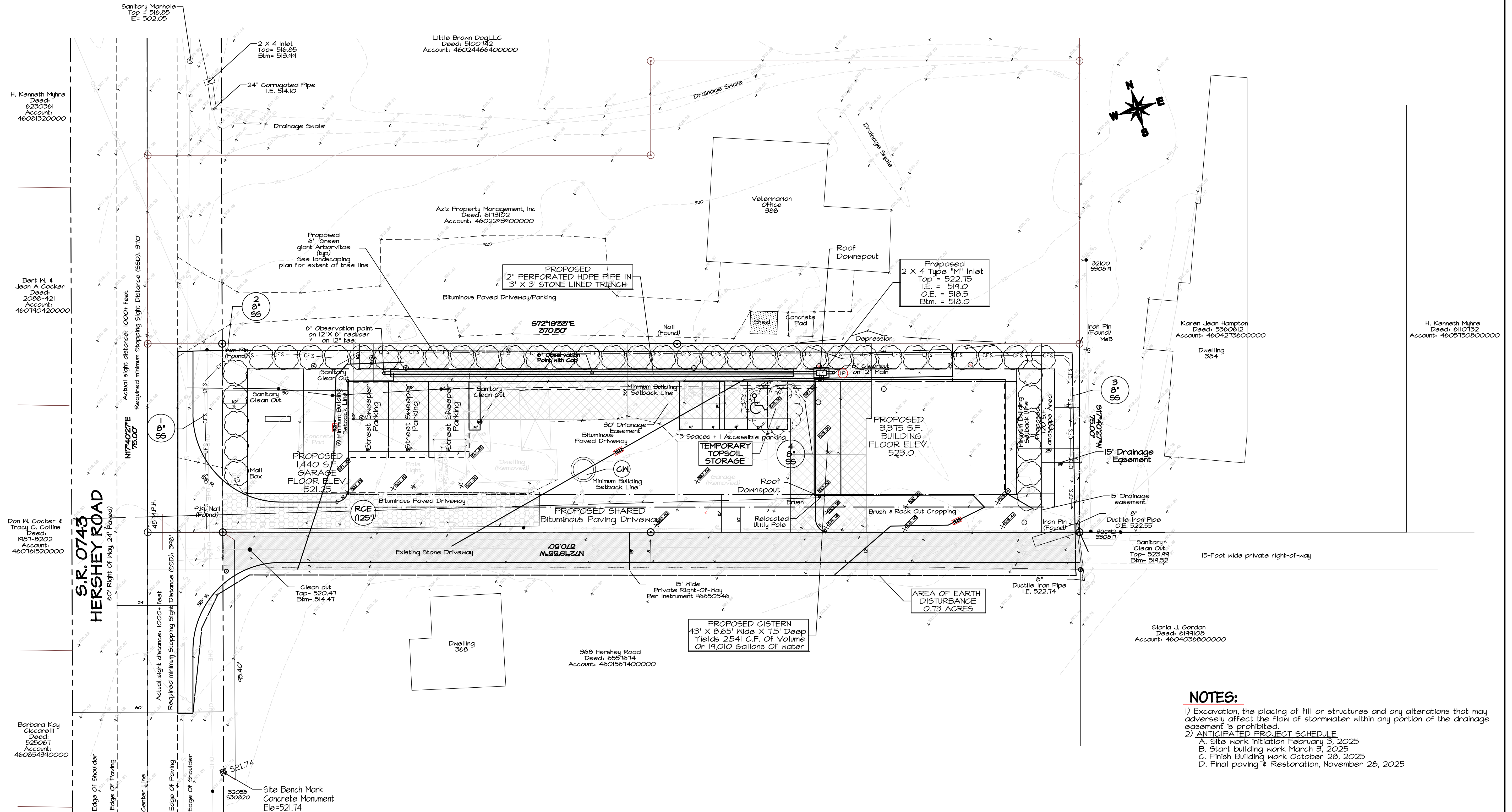
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MARK	REVISIONS	DATE	REPLER INVESTMENTS, LP. MOUNT JOY TOWNSHIP LANCASTER COUNTY, PENNSYLVANIA	
△	Response to Township Comments	2/24/24	PROPOSED CONDITIONS PLAN 380 HERSHEY ROAD ELIZABETHTOWN, PA 17022	
△	Response to Township Comments	9/06/24		
△	Response to Township Comments	11/1/24		
			JHA SURVEYING ENGINEERING ENVIRONMENTAL ARCHITECTURE 3705 TRINDLE ROAD, SUITE 100, CAMP HILL, PA 17011 MD NY OH PA VA WV	SCALE: AS NOTED FILE CODE: 8262202 SHEET 4 of 9
DRAWN BY:		APPROVED:		DRAWING NO.
DESIGNED BY:		ENGINEER:		LD-3
CHECKED BY:		DATE:		
FILE NAME:				
FILE DATE:				





NOTES:
 1) Excavation, the placing of fill or structures and any alterations that may adversely affect the flow of stormwater within any portion of the drainage easement is prohibited.
 2) **ANTICIPATED PROJECT SCHEDULE**
 A. Site work initiation February 3, 2025
 B. Start building work March 3, 2025
 C. Finish Building work October 28, 2025
 D. Final paving & Restoration, November 28, 2025

SOILS TYPES:
 Hg - Holly Silt Loam
 MeB - Mount Lucas Very Stony Silt Loam 3 to 12 % Slopes

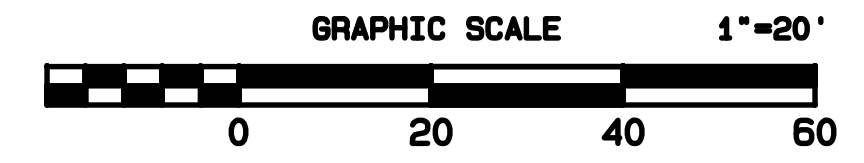
WETLANDS NOTE:
 All wetland areas, including riverine systems, are to be protected and remain undisturbed. No wetlands exist on the mapping for this property.

HIGHWAY OCCUPANCY PERMIT
 Access to the State highway is authorized by a State Highway Occupancy Permit. No building construction of work within the State highway r/w may commence without said permit.

STORMWATER INSPECTION
 The Township shall have the right of entry for the purposes of inspecting all stormwater conveyance, treatment, or storage facilities.

EXISTING STORMWATER AGREEMENTS
 There are no existing recorded stormwater agreements for this property.

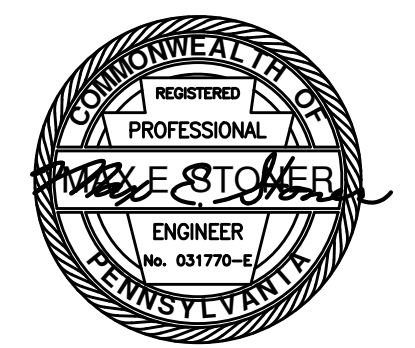
MAINTENANCE OF DRAINAGE EASEMENT
 The owners, Repler Investments, L.P., shall have responsibility for the maintenance of the drainage easement depicted hereon.



LEGEND

—●— Existing Sanitary Sewer	—●— Existing Sanitary Sewer
—●— Proposed Sanitary Sewer	—●— Proposed Sanitary Sewer
—●— Right of Way	—●— Right of Way
—●— Fence Line	—●— Fence Line
—●— Deep Probe	—●— Deep Probe
—●— Unsuitable Probe	—●— Unsuitable Probe
—●— Utility Pole	—●— Utility Pole
—●— Concrete Monument	—●— Concrete Monument
—●— Property Adjoiners	—●— Property Adjoiners
—●— Soil Types	—●— Soil Types
—●— Building Setback Line	—●— Building Setback Line
—●— Silt Soak	—●— Silt Soak
—●— Proposed Contour	—●— Proposed Contour
—●— Inlet Protection	—●— Inlet Protection
—●— Stone Inlet Protection & Berm	—●— Stone Inlet Protection & Berm
—●— Turf Reinforcement Matting	—●— Turf Reinforcement Matting
—●— Rock Construction Entrance	—●— Rock Construction Entrance
—●— Embankment Sediment Trap	—●— Embankment Sediment Trap

30' Drainage / Access Easement
 15' Right of Way



MARK	REVISIONS	DATE
△	Response to Township Comments	2/24/24
△	Response to Township Comments	4/06/24
△	Response to Township Comments	11/1/24

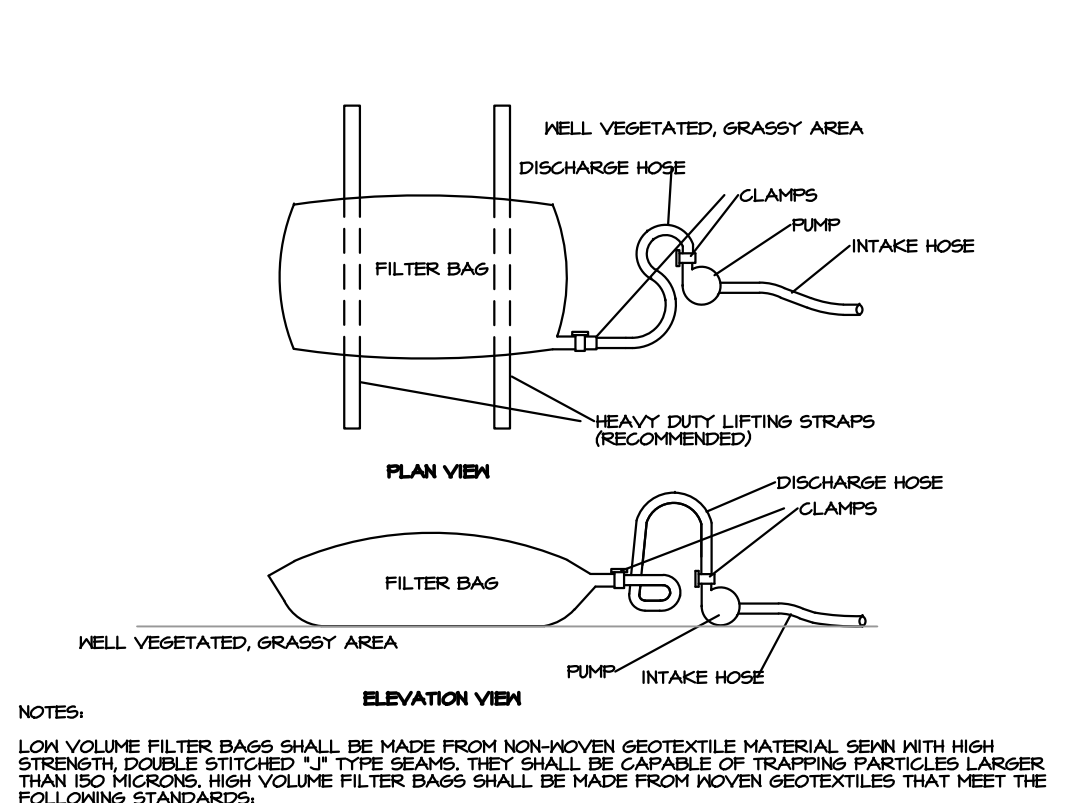
REPLER INVESTMENTS, LP.
 MOUNT JOY TOWNSHIP
 LANCASTER COUNTY, PENNSYLVANIA

POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
 380 HERSHEY ROAD
 ELIZABETHTOWN, PA 17022

JHA SURVEYING ENGINEERING ENVIRONMENTAL ARCHITECTURE
 3705 TRINDLE ROAD, SUITE 100, CAMP HILL, PA 17011
 MD NY OH PA VA WV

DRAWN BY:	APPROVED:	SCALE:	DRAWING NO.
DESIGNED BY:	ENGINEER:	AS NOTED	PCSPM-1
CHECKED BY:	DATE:	FILE CODE:	8262202
FILE NAME:			SHEET 5 of 9
FILE DATE:			

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL PA 1 CALL SYSTEM, INC. 1-800-242-1716 Serial #20221873653



NOTES:
 LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-HYPOV GEOTEXTILE MATERIAL, SEWN WITH HIGH STRENGTH DOUBLE STITCHED "I" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM HYPOV GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. HOLE WIDTH	ASTM D-4844	60 (UM)
GRAB TENSILE	ASTM D-4632	205 LB
FUNCTURE	ASTM D-4632	110 LB
MILLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4395	10%
AOS % RETAINED	ASTM D-1781	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE NEAR FAILURE. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED. BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA AND DISCHARGE ONTO STABLE EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERSTAP AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5%. CLEAN ROCK OR OTHER NON-EROSIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

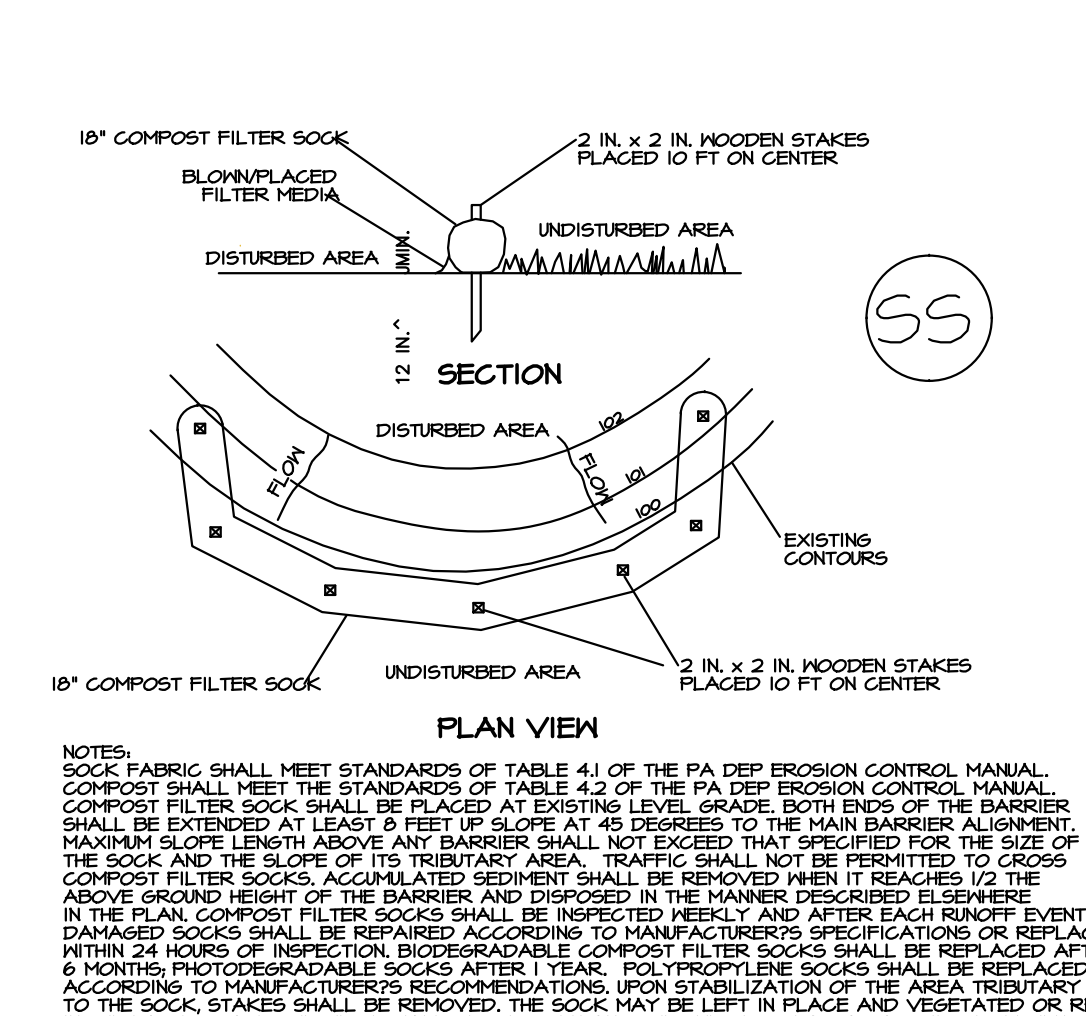
NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BEHIND BAGS LOCATED IN HIGH OR VERY WATERSHEDS WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED TO THE PUMP PIPE IN THIS MANNER.

THE PUMPING RATE SHALL BE NO GREATER THAN 700 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

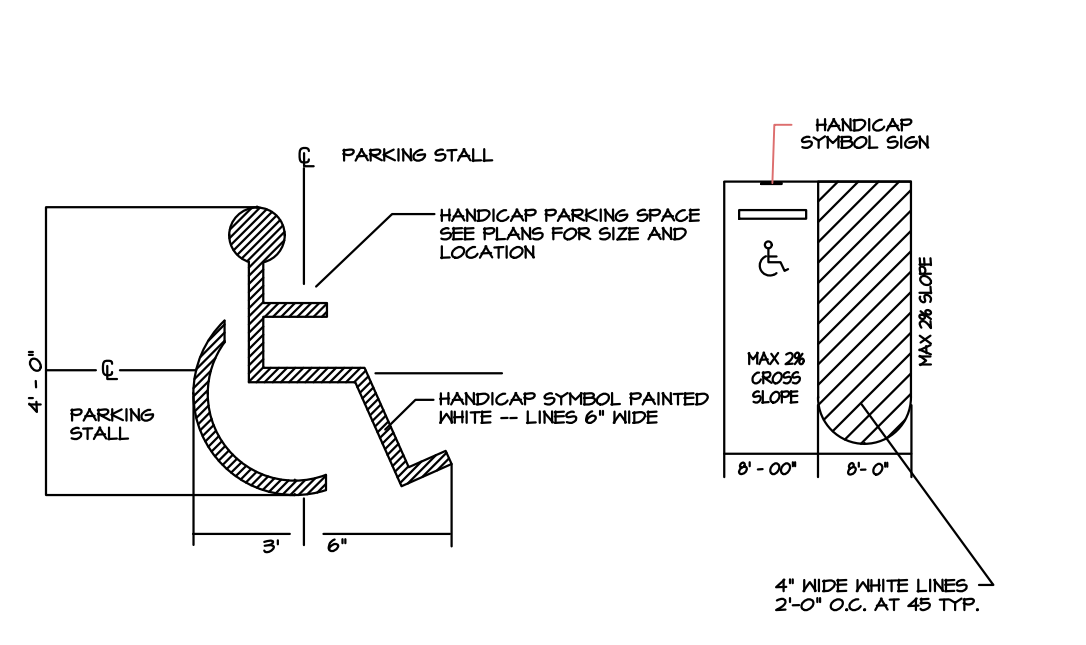
FILTER BAGS SHALL BE INSPECTED DAILY. IF A PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL PROBLEMS ARE CORRECTED.

**STANDARD CONSTRUCTION DETAIL #3-16
PUMPED WATER FILTER BAG**
NOT TO SCALE



SOCK NO.	DIA. (IN)	LOCATION	SLOPE PERCENT	SLOPE LENGTH ABOVE BARRIER (FT)
1	8	ALONG WEST PROPERTY LINE	2.3	150
2	8	ALONG NORTH PROPERTY LINE	1.8	112
3	8	ALONG EAST PROPERTY LINE (DIVERSION SOCK)	2.2	46
4	8	BELOW SOIL STOCKPILE	1.2	87

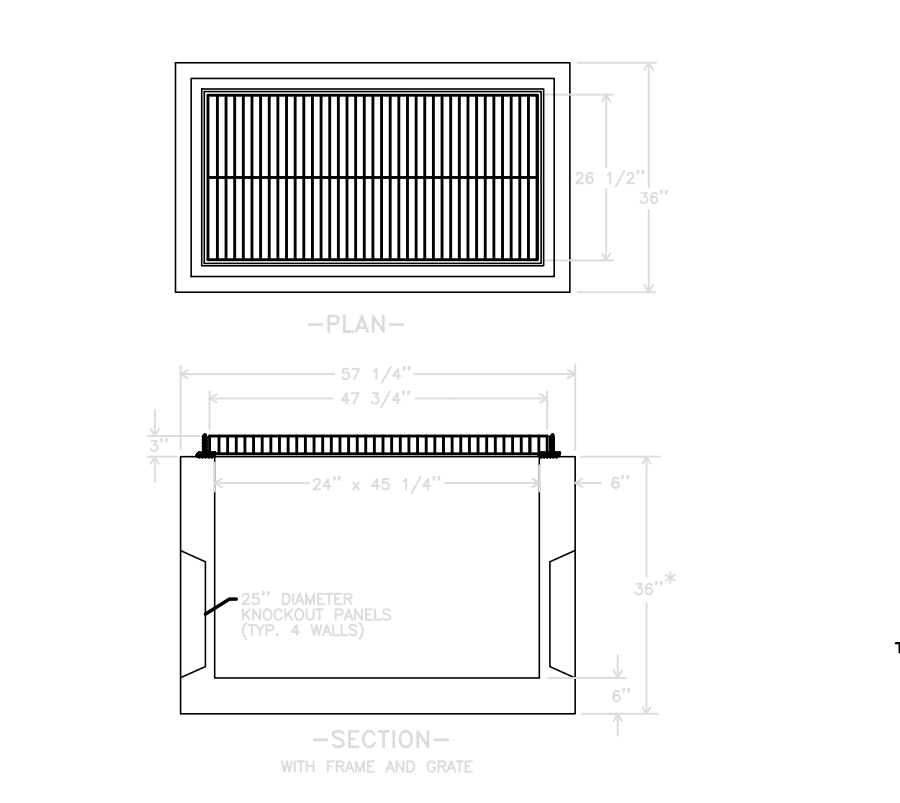
**STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK**
NOT TO SCALE



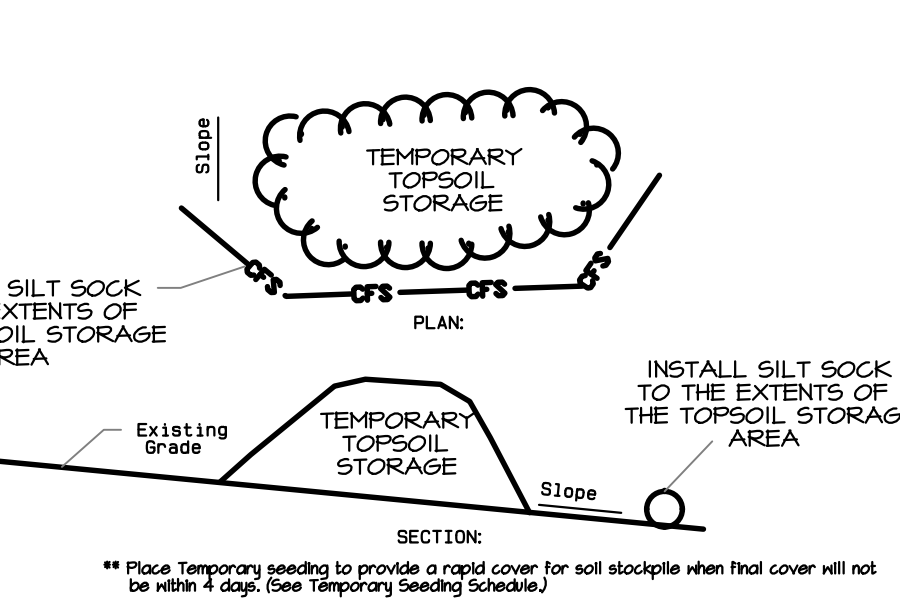
HANDICAP PARKING LAYOUT

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL

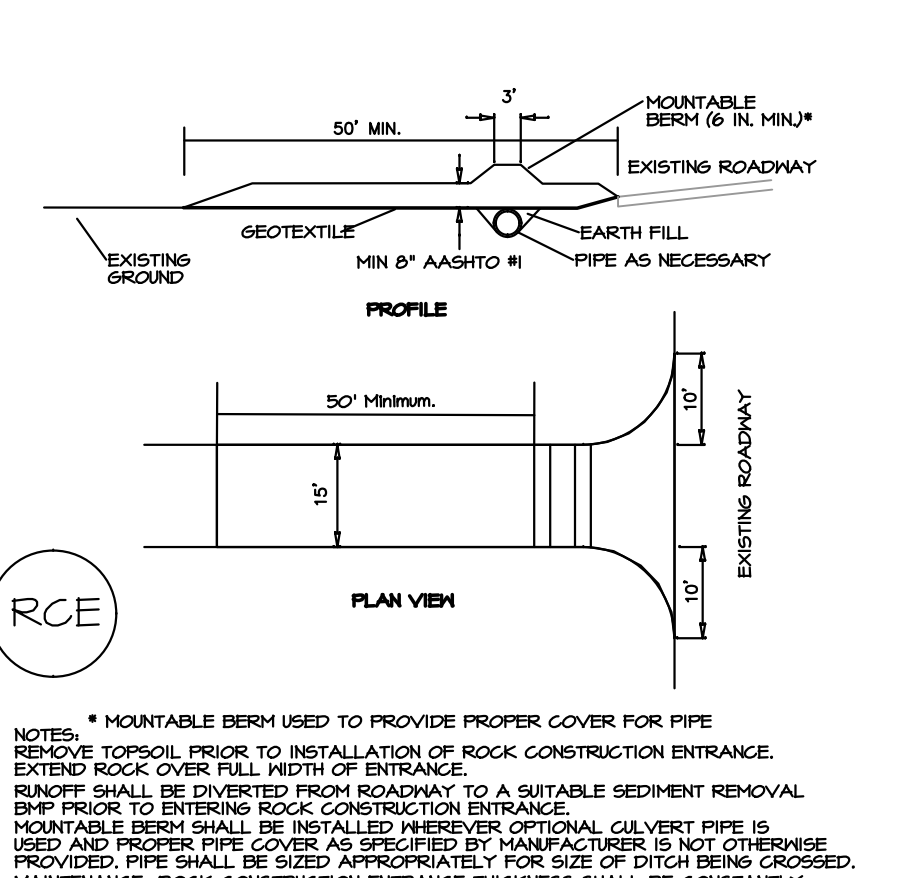
PA I
 CALL SYSTEM, INC.
 1-800-242-1176
 SERIAL NO. 2022061644



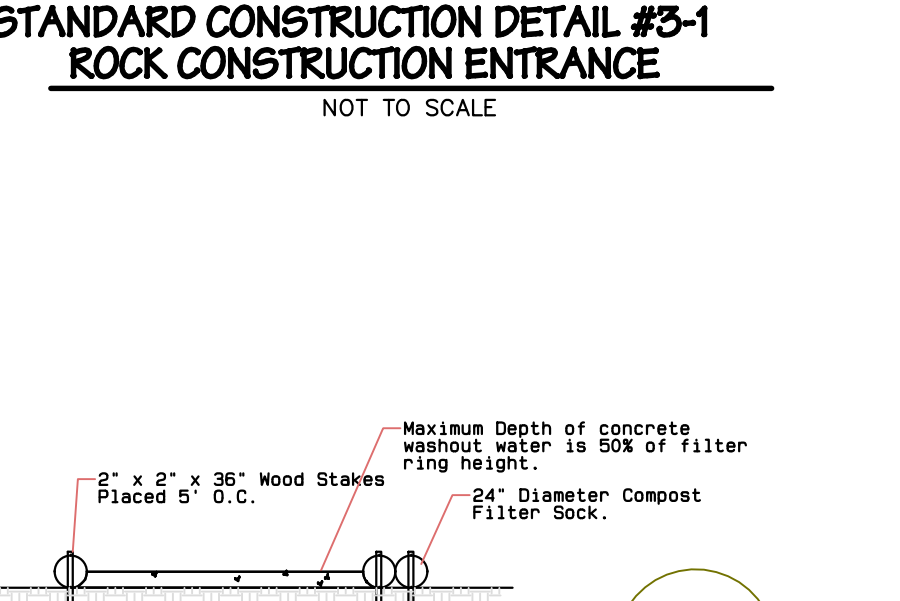
TYPE "M" INLET
N.T.S.



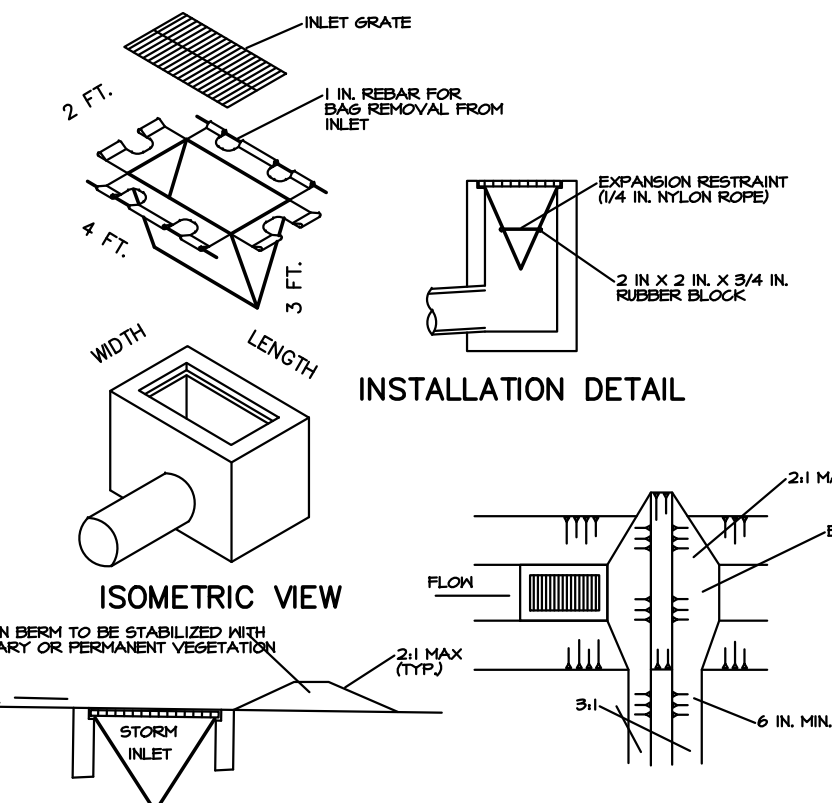
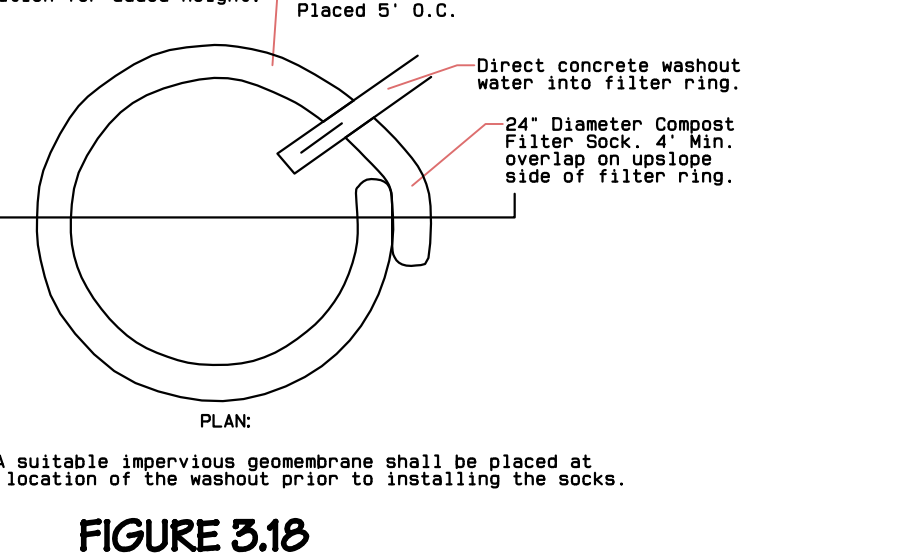
**STANDARD CONSTRUCTION DETAIL #3-17
TOPSOIL STORAGE DETAIL**
NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE**
NOT TO SCALE



**FIGURE 3.18
CONCRETE WASHOUT AREA**
NOT TO SCALE



**STANDARD CONSTRUCTION DETAIL #4-16
FILTER BAG INLET PROTECTION - TYPE M INLET**
NOT TO SCALE

NOTES:
 MAXIMUM DRAINAGE AREA = 1/2 ACRE.
 INLET PROTECTION SHALL BE INSTALLED FOR INLET TEMPORARY TO SEDIMENT BASIN OR TRAP. BERRS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
 ROLLED EARTHEN BERM TO STABILIZE VEGETATION SHALL BE MAINTAINED UNTIL ROADWAY IS STABLE. ROAD BERRS BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY STABILIZATION IS COMPLETE OR PERMANENT VEGETATION.
 AT A MINIMUM THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 350 PSI SHALL BE MAINTAINED UNTIL PERMANENT VEGETATION IS ESTABLISHED.
 INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RAINOFF EVENT. IF THE BAGS ARE DAMAGED OR FULL, THEY SHALL BE REPLACED IMMEDIATELY. IF FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET, THE BAGS OR CLOSURE BAGS SHALL BE REPLACED. A SUPPLY OF BAGS SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL REEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE BAGS ARE DAMAGED.
 DO NOT USE ON MAJOR PAVED ROADWAYS WHERE FLOODING MAY CAUSE TRAFFIC HAZARDS.

**POST - CONSTRUCTION
STORMWATER MANAGEMENT PLAN**

- After construction has been completed, the erosion control procedures must be maintained. The owner shall establish an Erosion Control Inspection Logbook in which a written log will be maintained pertaining to the E/S maintenance. The logbook will reflect the inspection date, by whom, condition of the E/S facilities, and a description of maintenance performed. The logbook will be a thorough record of E/S maintenance and available for review at any time by the Lancaster County Conservation District.
- Inspections will be made once every three months and after a severe storm event.
- All debris will be removed from the stormwater facilities which include the stormwater collect trench controls and cistern. All drainage conduits and inlets will be inspected and debris removed.
- The cistern and inlet structures will be kept free of debris and repaired immediately if they receive too much debris.
- Vegetated areas will be inspected for stress and will be repaired immediately.
- The collector pipe inlets/roof leaders/cistern are to be kept free of a build up of silt. If any is to be discovered, it is to be removed and disposed of at an environmentally approved spoils disposal site.

SEQUENCE OF CONSTRUCTION:

- STAGING OF EARTH MOVING ACTIVITIES. (102.5B)(5)
 - Preconstruction. The contractor shall submit written notification to the County Conservation District at least 12 hours prior to the start of construction.
 - An on-site preconstruction meeting shall be held between the Township Engineer and the Contractor.
 - Erosion and sedimentation controls must be constructed, stabilized, and functional before site disturbance of the tributary areas of those controls. Controls must be properly maintained during the life of the project.
 - Temporary stabilization. Any disturbed area on which activity has ceased and which will remain exposed for more than 4 days must be stabilized. During nonworking periods, mulch must be applied at the recommended rates. Disturbed areas which are not at a finished grade and which will be restabilized within 1 year may be stabilized in accordance with temporary seeding specifications. Disturbed areas which either are not at finished grade or will not be restabilized within 1 year must be stabilized in accordance with permanent stabilization specifications.
- Initial Controls:
 - Identify areas to remain undisturbed and mark.
 - Install silt sock at the topsoil stockpile and around any earthmoving.
 - Remove existing driveway and construct a rock construction entrance.
 - Install silt sock at the other locations as shown on the plan.
 - Demolish existing structures and features designated on the plan.
- Bulk grading:
 - Protect areas identified as infiltration locations.
 - Strip and stockpile topsoil from those areas to receive bulk grading or fill material.
 - Initiate and complete bulk grading for the site. The building pads, driveway and parking area shall be brought to subgrade elevation.
 - As soon as the progress allows, those areas that will not be disturbed for the construction of the buildings or other improvements shall be graded. Topsoil should be uniformly distributed across the disturbed area to a depth of 4 to 6 inches minimum 2 inches on fill outslaps. Spreading should be done in such a manner that seeding or seeding can proceed with a minimum of additional preparation or tillage. All disturbed areas shall then be permanently seeded or landscaped.
- Sediment removed from BMPs during maintenance should be placed in the spoils disposal area.
- Place and compact sub-base course for the Driveway/Parking Areas.
- Install Stormwater Collector Trench Controls as shown in details.
- Install inlets, inlet protection and infiltration pipes and stabilize immediately.
- Building construction.
 - Construct new building and garage as shown on plans. Limit area of disturbance.
 - Install cistern under first floor slab.
 - After buildings are constructed, connect the perforated pipe and roof leaders pipes to the cistern.
 - Complete final grading operations and apply permanent seed to all disturbed areas.
- Removal of control facilities:
 - Contact the County Conservation District prior to the removal of any Temporary BMPs.
 - When other areas have been stabilized by achieving uniform 10% vegetative cover on seeded areas and application of subsoil material, remove the Silt Sock and seed any disturbed areas.
 - Reseed any areas where grass has not grown.

SEEDING SCHEDULE

- TEMPORARY CONTROL MEASURES (102.5B)(6)

Purpose: provide control during construction of the project. Their ability to provide safe efficient control and rapid cover is more important than long term structural and maintenance considerations.

Type: measures and facilities.

 - Construction entrances: to reduce or eliminate mud onto a paved road, or parking area.
 - Silt/Sock: to remove sediment from runoff by reducing velocity and filtering.
 - Temporary seeding: to provide a rapid cover for soil stockpiles and disturbed areas where final cover will not be within 20 days. Seeding shall be as follows:
 - Temporary seed: shall be 100% ryegrass (tall fescue) at rate of 1 lb/1000 sq.ft.
 - Mulch shall be native or agricultural byproducts, 40% perlite/creeping red fescue, 20% non-toxic perennial ryegrass at the rate of 6 lbs/1000 sq.ft.
 - Liming broadcast and work into a 10 to 16 inch depth, one hundred pounds of ground limestone per 1000 sq. ft.
 - Fertilizer broadcast and work deeply (four to six inches) 20 lbs/1000 sq.ft. of 10-20-10 fertilizer immediately before seeding, apply a starter fertilizer of 16-8-8 at a rate of 10 lbs/1000 sq. ft.
 - Mulch shall be native or agricultural byproducts such as wheat, oats, or straw applied at a minimum 2-inch depth. Secure with pegs and twine, emulsified asphalt, mulch netting or wood cellulose.
 - Other facilities which owing to special problems encountered during construction are required to meet chapter 102 of DEP rules and regulations.
- PERMANENT CONTROL MEASURES AND FACILITIES (102.5B)(7)

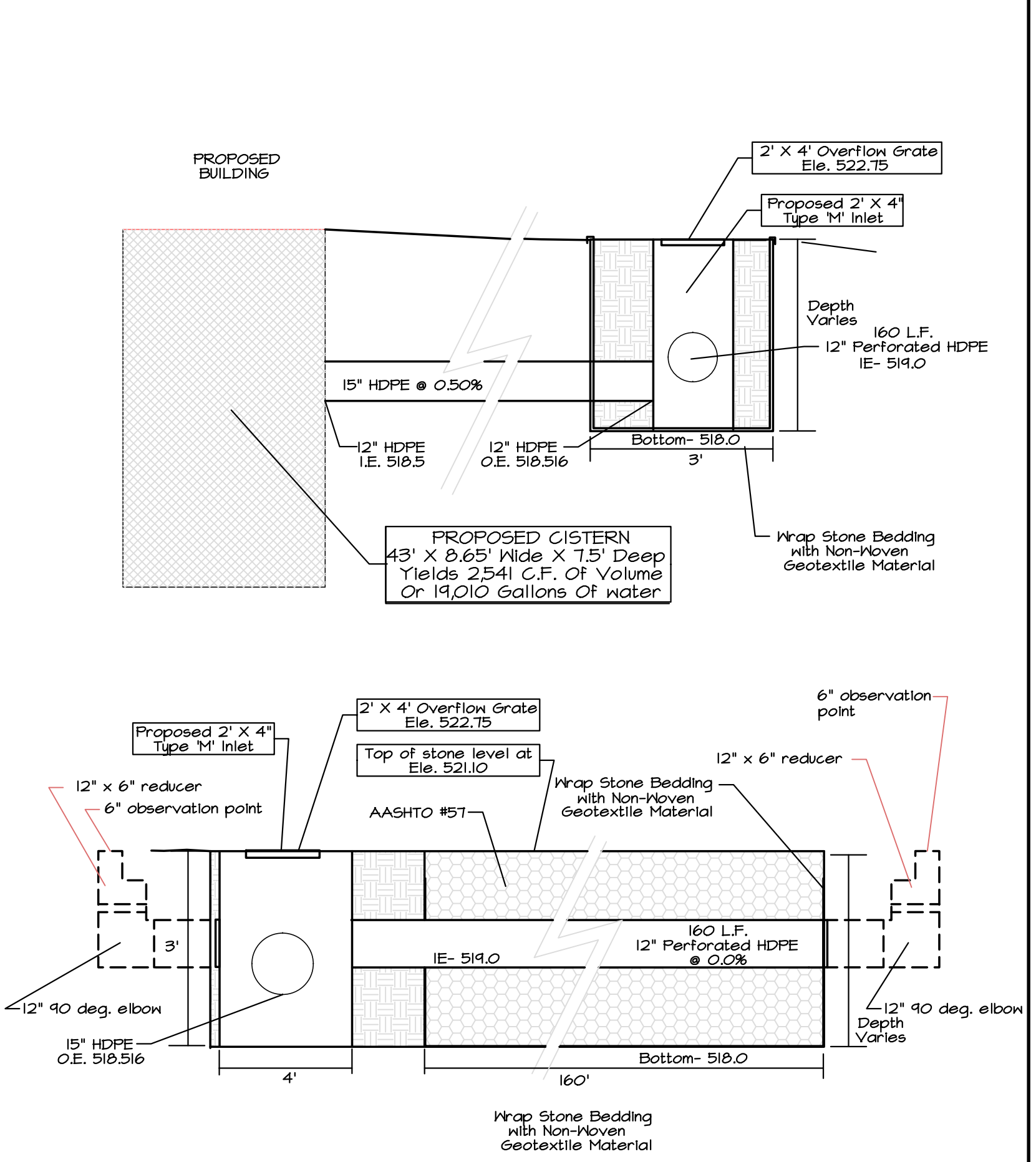
Purpose: provide control on a long term basis after the project is completed.

Type: measures and facilities.

 - Grading: to prevent the buildup of large volumes of storm water, to provide areas to reduce velocity and slopes which are easy to maintain.
 - Seeding and landscaping: to limit erosion and reduce runoff. Seeding shall be as follows. Owing to the nature of the facility, other specialized species may be utilized.
 - Permanent grass seed mix: 40% Kentucky bluegrass, 40% perennial creeping red fescue, 20% non-toxic perennial ryegrass at the rate of 6 lbs/1000 sq.ft.
 - Liming broadcast and work into a 10 to 16 inch depth, one hundred pounds of ground limestone per 1000 sq. ft.
 - Fertilizer broadcast and work deeply (four to six inches) 20 lbs/1000 sq.ft. of 10-20-10 fertilizer immediately before seeding, apply a starter fertilizer of 16-8-8 at a rate of 10 lbs/1000 sq. ft.
 - Mulch shall be native or agricultural byproducts such as wheat, oats, or straw applied at a minimum 2-inch depth. Secure with pegs and twine, emulsified asphalt, mulch netting or wood cellulose.

E & S PLAN NOTES

- All earth disturbances, including clearing and grubbing as well as cuts and fills shall be done in accordance with the approved E&S plan. A copy of the approved drawings (stamped, signed and dated by the reviewing agency) shall be available at the project site at all times. The reviewing agency shall be notified of any changes to the approved plan prior to implementation of those changes. The reviewing agency may require a written submittal of those changes for review and approval at its discretion.
- At least 7 days prior to starting any earth disturbance activities, including clearing and grubbing, the owner and/or operator shall invite all Contractors, the landowner, appropriate municipal officials, the E&S plan preparer, the PCSM plan preparer, the licensed professional responsible for oversight of critical stages of implementation of the PCSM plan, and a representative from the local conservation district to an on-site preconstruction meeting.
- At least 3 days prior to starting any earth disturbance activities, or expanding into an area previously unmarked, the Pennsylvania One Call System Inc. shall be notified at 1-800-242-1176 for the location of existing underground utilities.
- All earth disturbance activities shall proceed in accordance with the sequence provided on the plan drawings. Deviation from that sequence must be approved in writing from the local conservation district or by the Department prior to implementation.
- Areas to be filled are to be cleared, grubbed, and stripped of topsoil to remove trees, vegetation, roots and other objectionable material.
- Clearing, grubbing, and topsoil stripping shall be limited to those areas described in each stage of the construction sequence. General site clearing, grubbing and topsoil stripping may not commence in any stage or phase of the project until the E&S BMPs specified by the BMP sequence for that stage of construction are installed and are functioning as described in this E&S plan.
- At no time shall construction vehicles be allowed to enter areas outside the limit of disturbance boundaries shown on the plan pages. These areas must be clearly marked and fenced off before clearing and grubbing operations begin.
- Topsoil required for the establishment of vegetation shall be stockpiled at the location(s) shown on the plan map(s) in the amount necessary to complete the final grading of all exposed areas that one to be stabilized. Silt/Sock stockpiles shall be protected in the manner shown on the plan drawings. Stockpile heights shall not exceed 35 feet. Stockpile slopes shall be 2H:1V or flatter.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to minimize the potential for erosion and sediment pollution and notify the local conservation district and/or the regional office of the Department.
- All building materials and wastes shall be removed from the site and recycled or disposed of in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 2711, and 2811 et seq. No building materials or wastes or unused building materials shall be burned, buried, dumped, or discharged at the site.
- All off-site waste and borrow areas must have an E&S plan approved by the local conservation district or the Department fully implemented prior to being activated.
- All building materials and wastes shall be removed from the site and recycled or disposed in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 2711, and 2811 et seq. No building material or wastes or unused building materials shall be buried, dumped, or discharged at the site.
- The contractor is responsible for ensuring that any material brought on site is clean fill. Form FF-01 must be obtained by the property owner for any fill material obtained by a spill or release of a regulated substance but qualifying as clean fill due to analytical testing.
- All pumping of water from any work area shall be done according to the procedure described in this plan, over undisturbed vegetated areas.
- Vehicles and equipment may neither enter directly nor exit directly from lots Account 4601855600000 onto S.R. 0143 Hershey road.
- Until the site is stabilized, all erosion and sediment BMPs shall be maintained properly. Maintenance shall include inspections of all erosion and sediment BMPs after each runoff event of a 1/2 inch or more and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, reworking and renetting must be performed immediately. If the E&S BMPs fail to perform as expected, replacement BMPs, or modifications of those installed will be required.
- A log showing dates that E&S BMPs were inspected as well as any deficiencies found and the date they were corrected shall be maintained on the site and be made available to regulatory agency officials at the time of inspection.
- Sediment tracked onto any public roadway or sidewalk shall be returned to the construction site by the end of each work day and disposed in the manner described in this plan. In no case shall the sediment be washed, shoveled, or swept into any roadside ditch, storm sewer, or surface water.
- All sediment removed from BMPs shall be disposed of in the manner described on the plan drawings. Sediment removed from BMPs during maintenance should be placed in the topsoil storage area.
- Areas which are to be topsoiled shall be scarified to a minimum depth of 3 to 5 inches x 6 to 12 inches on compacted subgrade prior to placement of topsoil. Areas to be vegetated shall have a minimum 4 inches of topsoil in place prior to seeding and mulching. Fill outslaps shall have a minimum of 2 inches of topsoil.
- All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc. shall be compacted in accordance with local requirements or specifications.
- All earthen fills shall be placed in compacted layers not to exceed 4 inches in thickness.
- Fill materials shall be free of frozen particles, brush, roots, sod, or other foreign or objectionable materials that would interfere with or prevent construction of satisfactory fills.
- Frozen materials or soft, mucky, or highly compressible materials shall not be incorporated into fills.
- Fill shall not be placed on saturated or frozen surfaces.
- Seeps or springs encountered during construction shall be handled in accordance with the standard and specification for subsurface drain or other approved method.
- All graded areas shall be permanently stabilized immediately upon reaching finished grade. Cut slopes in competent bedrock and rock fills need not be vegetated. Seeded areas within 50 feet of a surface water, or as otherwise shown on the plan drawings, shall be blanketed according to the standards of this plan.
- Immediately after earth disturbance activities cease in any area or subarea of the project, the operator shall stabilize all disturbed areas. During non-germinating months, mulch or protective blanketing shall be applied as described in the plan. Areas not at finished grade, which will be restabilized within 1 year, may be stabilized in accordance with the temporary stabilization specifications. Those areas which will not be restabilized within 1 year shall be stabilized in accordance with the permanent stabilization specifications.
- Permanent stabilization is defined as a minimum uniform, perennial 10% vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated erosion. Cut and fill slopes shall be capable of resisting failure due to slumping, sliding, or other movements.
- E&S BMPs shall remain functional as such until all areas tributary to them are permanently stabilized or until they are replaced by another BMP approved by the local conservation district or the Department.
- Upon completion of all earth disturbance activities and permanent stabilization of all disturbed areas, the owner and/or operator shall contact the local conservation district for an inspection prior to removal/conversion of the E&S BMPs.
- After final site stabilization has been achieved, temporary erosion and sediment BMPs must be removed or converted to permanent post construction stormwater management BMPs. Areas disturbed during removal or conversion of the BMPs shall be stabilized immediately. In order to ensure rapid revegetation of disturbed areas, such removal/conversions are to be done only during the germinating season.
- Failure to correctly install E&S BMPs, failure to prevent sediment-laden runoff from leaving the construction site, or failure to take immediate corrective action to resolve failure of E&S BMPs may result in administrative, civil, and/or criminal penalties being instituted by the Department as defined in Section 602 of the Pennsylvania Clean Streams Law. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.
- Concrete wash water shall be handled in the manner described on the plan drawings. In no case shall it be allowed to enter any stormwater or ground-water systems. Concrete Wash containment facility shall be lined with an impervious material to allow residual concrete to harden and allow water to evaporate.
- All channels shall be kept free of obstructions including but not limited to fill, rocks, leaves, woody debris, accumulated sediment, excess vegetation, and construction material/wastes.
- Underground utilities cutting through any active channel shall be immediately backfilled and the channel restored to its original cross-section and protective lining. Any base flow within the channel shall be conveyed past the work area in the manner described in this plan until such restoration is complete.
- Channels having riprap, rock mattress, or gabion linings must be sufficiently over-excavated so that the design dimensions will be provided after placement of the protective lining.
- Sediment basins and/or traps shall be kept free of all construction waste, wash water, and other debris having potential to clog the basin/trap outlet structures and/or pollute the surface waters.
- Sediment basins shall be protected from unauthorized acts by third parties.
- Any damage that occurs in whole or in part as a result of basin or trap discharge shall be immediately repaired by the permittee in a permanent manner satisfactory to the municipality, local conservation district, and the owner of the damaged property.
- Upon request, the applicant or his contractor shall provide an as-built (record drawing) for any erosion control or trap to the municipal inspector, local conservation district or the Department.
- Sediment control blanketing shall be installed on all slopes 3H:1V or steeper within 50 feet of a surface water and on all other disturbed areas specified on the plan maps and/or detail sheets.

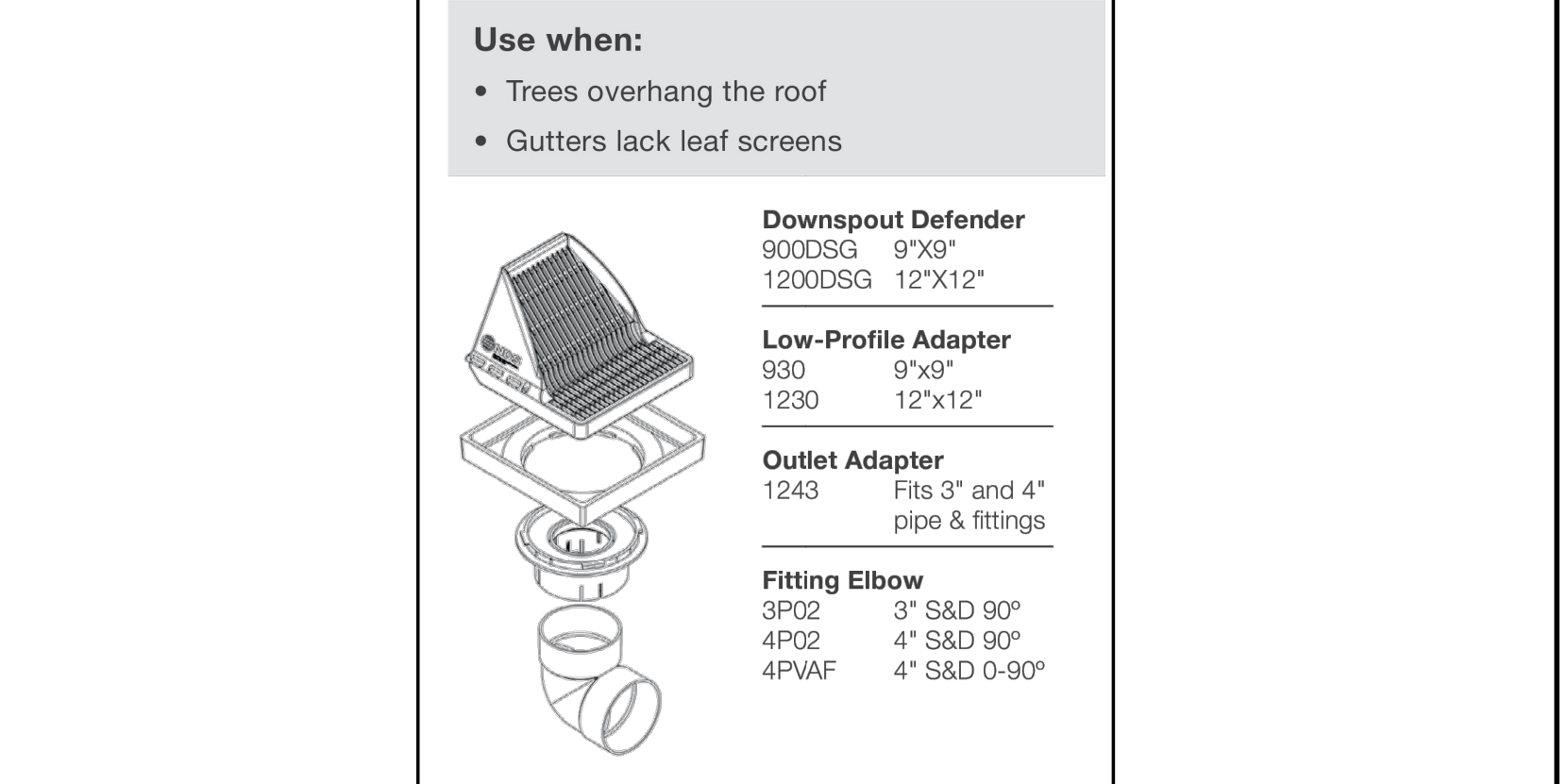


STORMWATER COLLECTOR TRENCH CONTROLS

With Low-Profile Adapter

Use when:

- Trees overhang the roof
- Gutters lack leaf screens

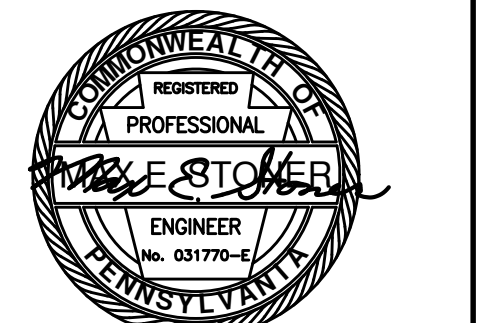


DOWNSPOUT FILTER GRATE
NOT TO SCALE



MARK	REVISIONS	DATE	REPLER INVESTMENTS, LP. MOUNT JOY TOWNSHIP LANCASTER COUNTY, PENNSYLVANIA
Δ	Response to Township Comments	6/13/24	EROSION AND SEDIMENTATION CONTROL PLAN 380 HERSHEY ROAD ELIZABETHTOWN, PA 17022
Δ	Response to Township Comments	9/06/24	
Δ	Response to Township Comments	11/11/24	

DRAWN BY: DESIGNED BY: CHECKED BY:	APPROVED	SCALE:	DRAWING NO.:
		AS NOTED	ES-1
FILE NAME: BLANK TITLE BLOCK2000.DWG FILE DATE: Feb./02/2023 7:50 AM	ENGINEER: DATE:	FILE CODE: 8262202	SHEET 6 of 9



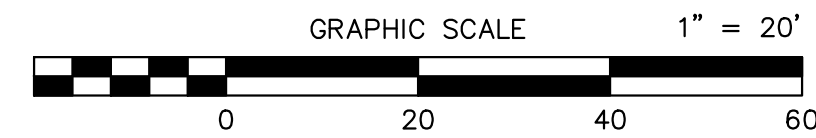
Schedule										
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	
□	A	5	Lithonia Lighting	WDGE1 LED P1 40K 80CRI VW	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT WIDE OPTIC	1	1229	0.95	10.0002	
□	B	4	Lithonia Lighting	WDGE1 LED P1 40K 80CRI VF	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC	1	1227	0.95	10.0002	

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.1 fc	4.6 fc	0.0 fc	N/A	N/A

Note
 1. Calcs taken at grade
 2. Fixtures mounted at height listed on drawing
 3. Calculations are estimations based on the information provided and may vary with actual conditions



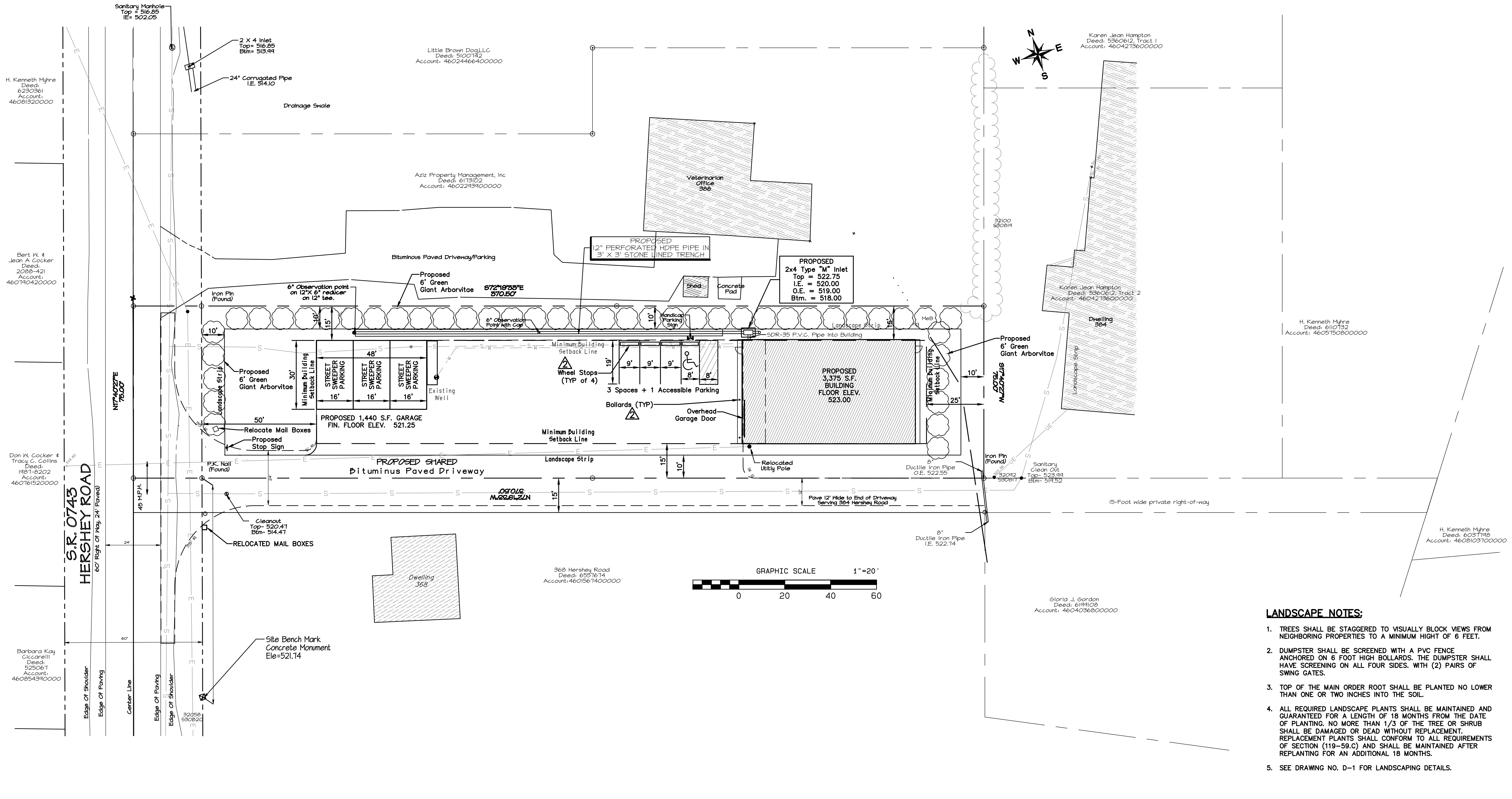
ILLUMINATION PLAN



	MARK	REVISIONS	DATE	REPLER INVESTMENTS, LP. MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA PROPOSED ILLUMINATION 380 HERSHEY ROAD ELIZABETHTOWN, PA 17022	
	▲	RESPONSE TO TOWNSHIP COMMENTS	2/29/24		
	▲	RESPONSE TO TOWNSHIP COMMENTS	9/06/24		
	▲	RESPONSE TO TOWNSHIP COMMENTS	11/11/24	SURVEYING 3705 TRINDLE ROAD, SUITE 100 ENGINEERING CAMP HILL, PA 17011 ENVIRONMENTAL ARCHITECTURE MD NY OH PA VA WV	
DRAWN BY: DM		APPROVED:		SCALE:	DRAWING NO.
DESIGNED BY: MES		ENGINEER: <i>Max E. Stoner</i>		AS NOTED	11-1
CHECKED BY: MES		DATE: 3-27-25		FILE CODE: 8262202	7 OF 9
FILE NAME: 7 ILLUMINATION PLAN.DWG					

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REV: 11/11/2024 3:57 PM
 SWEEPERS:05-CAD-02-ENG-ENV-03-SITE-UV ILLUMINATION PLAN.DWG, 11/11/2024 3:57 PM



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 3 WORKING DAYS NOTICE FOR
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 DAYS IN DESIGN STAGE - STOP CALL

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 1-800-242-1116
 Serial #202210T3653



LEGEND

—s— Existing Sanitary Sewer	—s— Proposed Sanitary Sewer
—r— Right of Way	—r— Right of Way
—e— Overhead Electric Line	—u/e— Existing Underground Electric Line
—u/e— Proposed Underground Electric Line	—w— Existing Waterline
—w— Proposed Waterline	—l— Light Standard
—c— Existing Contour	—t— Turf Reinforcement Matting
—rce— Rock Construction Entrance	—st— Embankment Sediment Trap
—f— Fence Line	—dp— Deep Probe
—up— Unsuitable Probe	—sh— Shrub
—u— Utility Pole	—cm— Concrete Monument
—pa— Property Adjoiners	—st— Soil Types
—bsl— Building Setback Line	—s— Silt Sock
—ip— Inlet Protection	—sp— Stone Inlet Protection 4 Berm

MARK	REVISIONS	DATE
△	RESPONSE TO TOWNSHIP COMMENTS	2/29/24
△	RESPONSE TO TOWNSHIP COMMENTS	9/06/24
△	RESPONSE TO TOWNSHIP COMMENTS	11/11/24

REPLER INVESTMENTS, LP.
 MOUNT JOY TOWNSHIP,
 LANCASTER COUNTY, PENNSYLVANIA

LANDSCAPE PLAN
 380 HERSHEY ROAD
 ELIZABETHTOWN, PA 17022

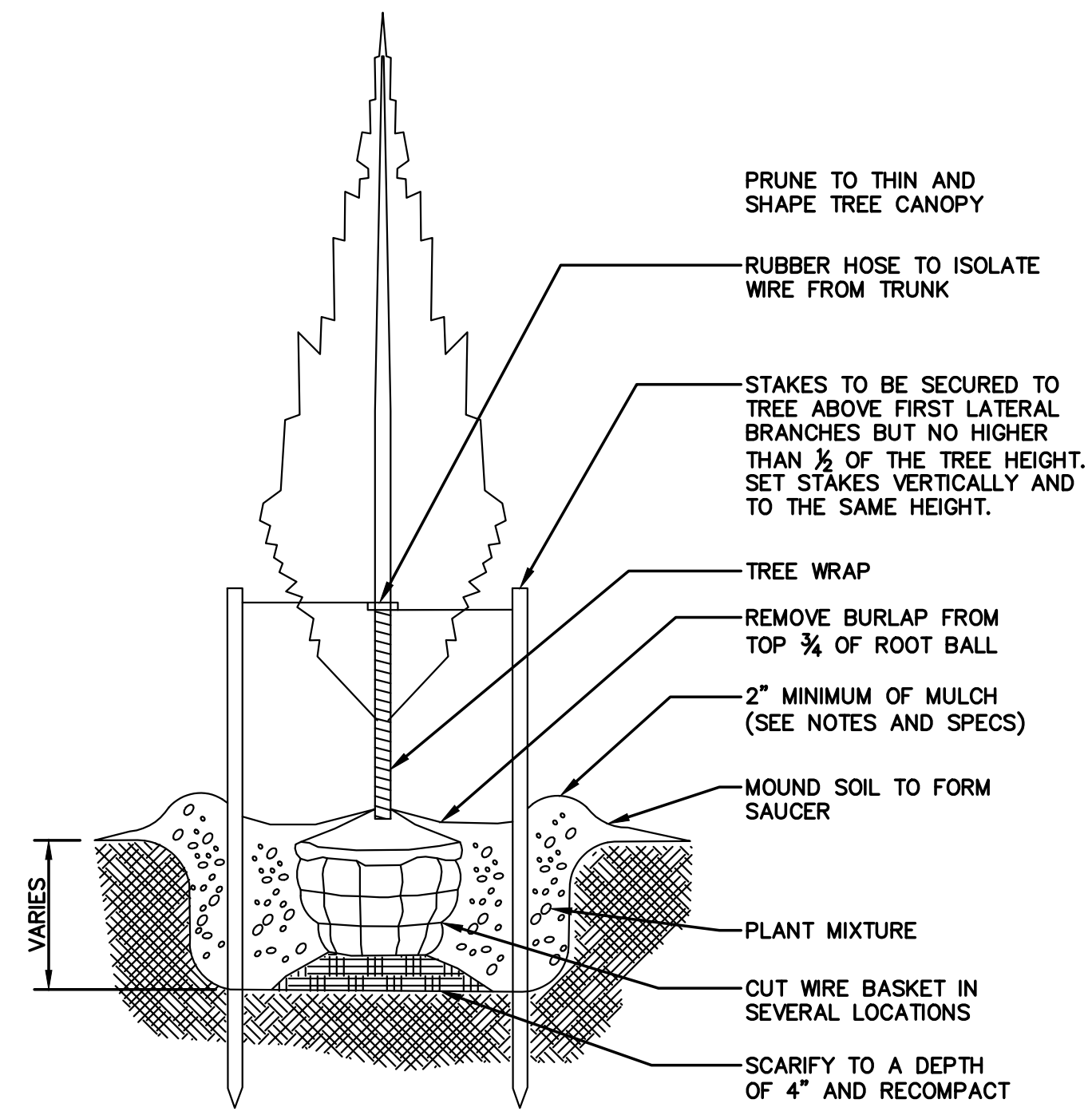
JHA SURVEYING ENGINEERING ENVIRONMENTAL ARCHITECTURE
 3705 TRINDLE ROAD, SUITE 100
 CAMP HILL, PA 17011
 MD NY OH PA VA WV

APPROVED
 SCALE: AS NOTED
 DRAWING NO. **LS-1**
 FILE CODE: 8262202
 8 OF 9

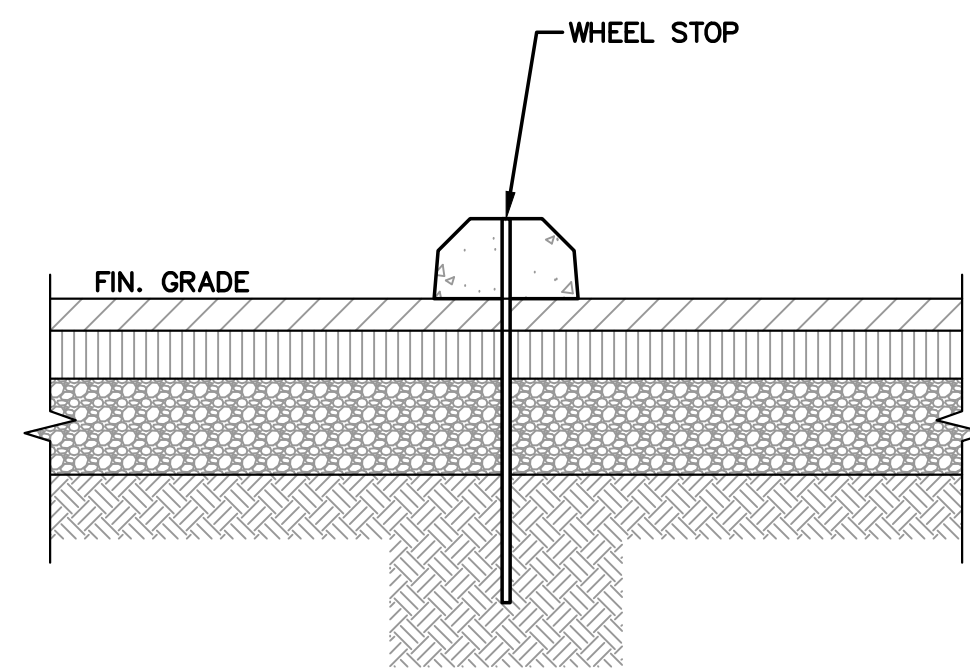
DATE: 3-27-23

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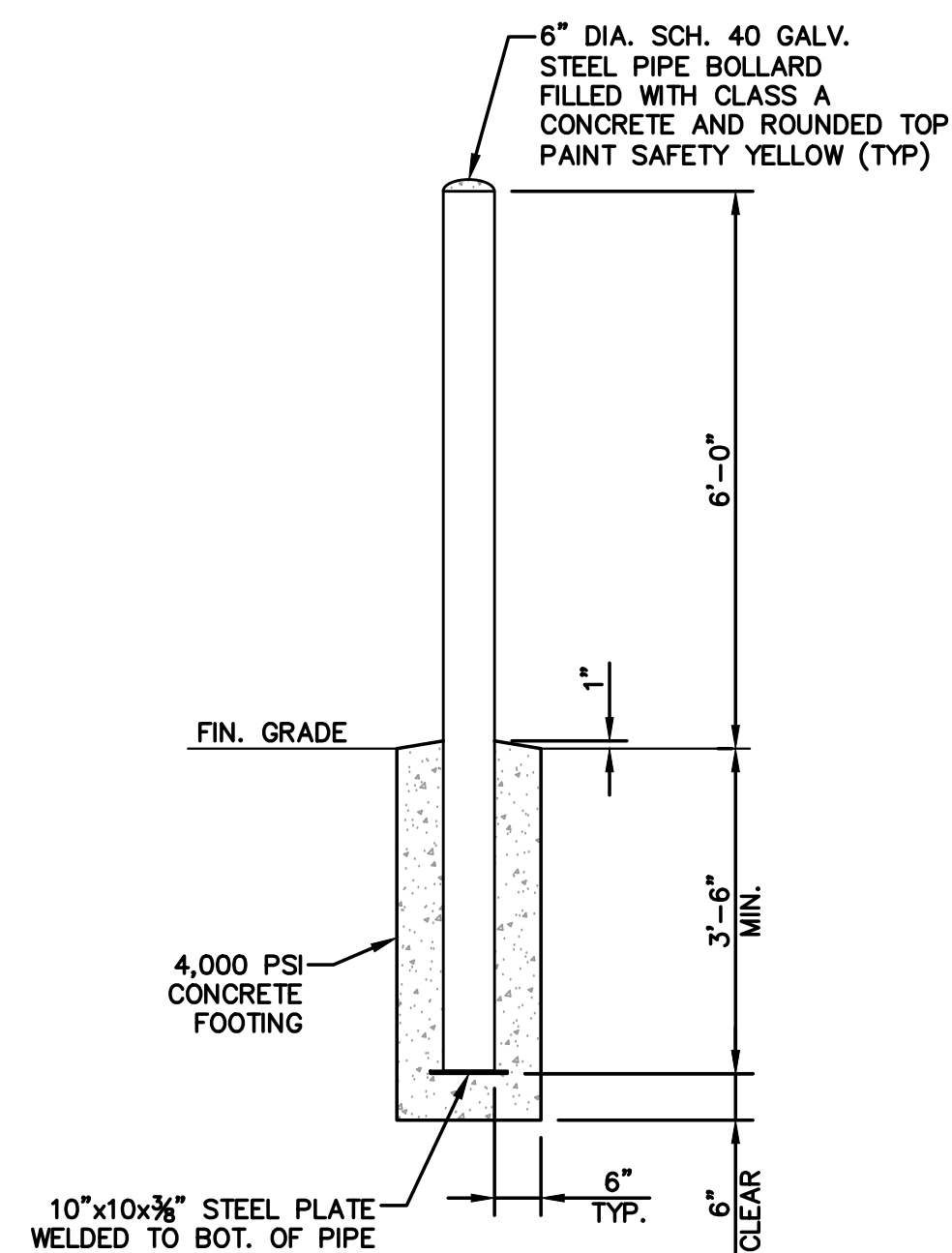
R:\PROJECTS\2024\2024-02-14-0843-SCENIC RIDGE CONSTRUCTION-CENTRAL-PA SWEEPERS\05-CAD\02-ENG-ENV\03-SITE-LD\8 LANDSCAPE PLAN.DWG, 11/11/2024 3:57 PM



ARBORVITAE TREE PLANTING DETAIL
NOT TO SCALE



TYPICAL PARKING WHEEL STOP INSTALLATION DETAIL
NOT TO SCALE



TYPICAL PIPE BOLLARD DETAIL
NOT TO SCALE

THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF GLACE ASSOCIATES, INC. REUSE FOR PROJECT EXTENSIONS, ANY OTHER PROJECT, ALTERATIONS OR ADDITIONS TO THIS PROJECT SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO GLACE ASSOCIATES, INC.
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MARK	REVISIONS	DATE	REPLER INVESTMENTS, LP. MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA	
△	RESPONSE TO TOWNSHIP COMMENTS	2/29/24	LANDSCAPE DETAILS 380 HERSHEY ROAD ELIZABETHTOWN, PA 17022	
△	RESPONSE TO TOWNSHIP COMMENTS	9/06/24		
FILE NAME: 9 DETAIL PLAN.DWG FILE DATE: Nov/11/2024 2:58 PM			3705 TRINDLE ROAD, SUITE 100 CAMP HILL, PA 17011 MD NY OH PA VA WV	
DRAWN BY: DM		APPROVED:		SCALE: AS NOTED
DESIGNED BY: MES		ENGINEER: <i>Max E. Stoner</i>		DRAWING NO. D-1
CHECKED BY: MES		DATE: 2-29-24		FILE CODE: 8262202
				9 OF 9

R:\PROJECTS\2024\2024-0843-SCENIC RIDGE CONSTRUCTION-CENTRAL PA SWEEPERS\05-CAD\02-ENG-ENV\03-SITE-LD\9 DETAIL PLAN.DWG, 11/11/2024 3:57 PM

HOP	DISTRICT	COUNTY	TOWNSHIP	BOROUGH	ROUTE	SECTION	TOTAL SHEETS
	8-0	Lancaster	Mount Joy		0743		5

PAGE	DESCRIPTION	LAST REVISED
1 of 5	COVER SHEET	9/26/2024
2 of 5	HOP PAVING DETAILS	9/26/2024
3 of 5	CONSTRUCTION, SIGNING & PAVEMENT MARKING PLAN	9/26/2024
4 of 5	GRADING AND DRAINAGE	9/26/2024
5 of 5	OVERALL SITE PLAN	9/26/2024

HIGHWAY OCCUPANCY PERMIT PLANS

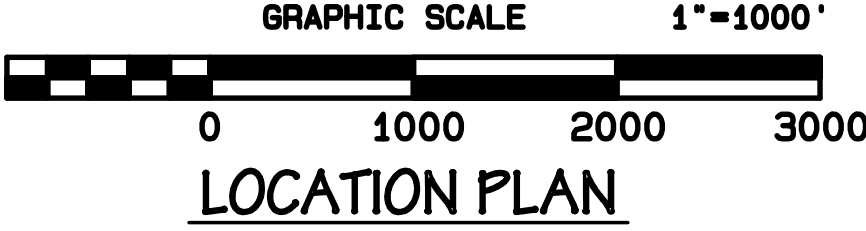
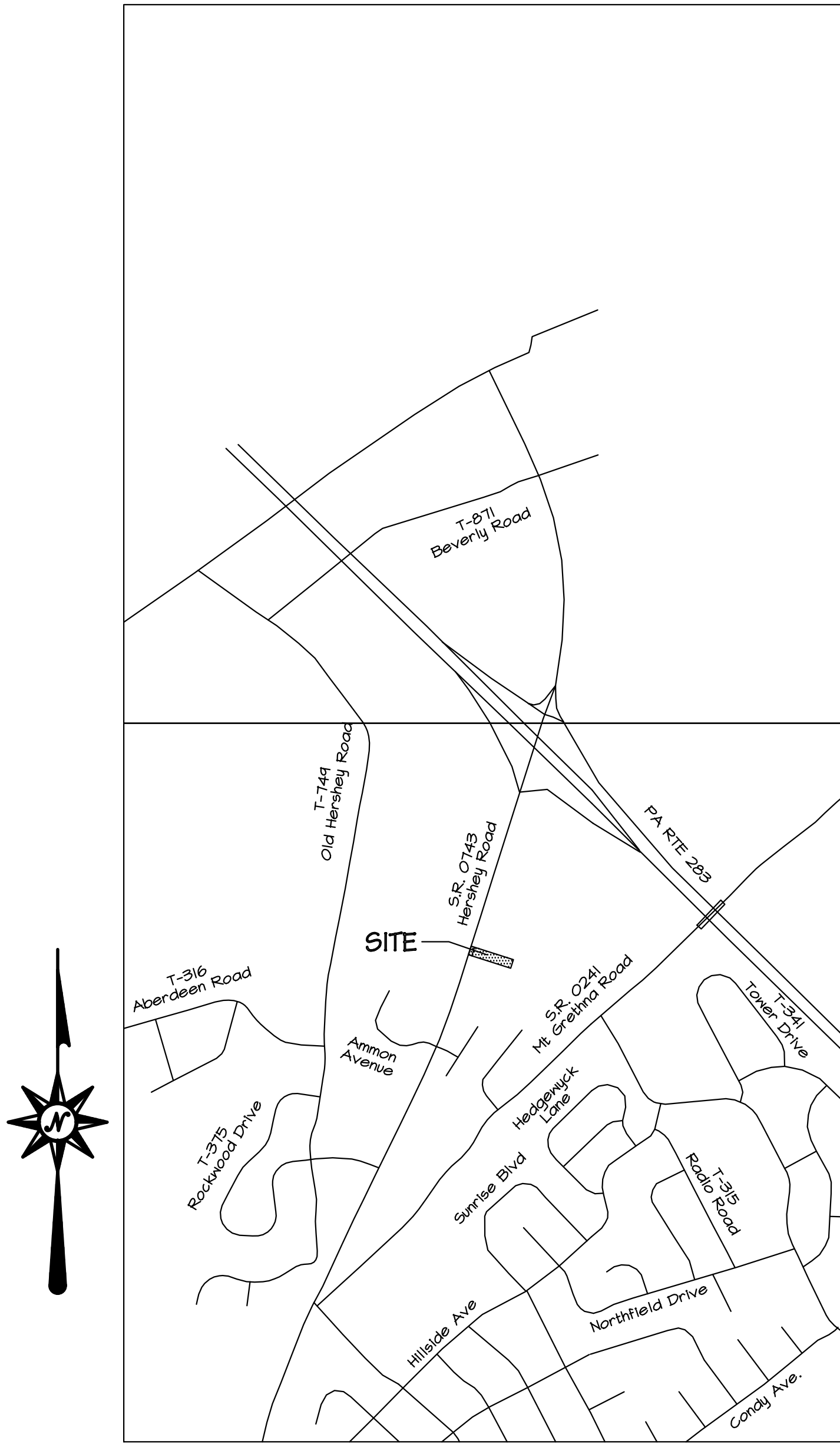
FOR

REPLER INVESTMENTS, LP.

380 STATE ROUTE 0743, HERSHEY ROAD

MOUNT JOY TOWNSHIP, LANCASTER COUNTY, PENNSYLVANIA

FROM STA. 306+82.00 TO STA. 308+26.00 LENGTH 144 FT. 0.03 MI.
 FROM SEG. 0144 OFFSET 1068 TO SEG. 0144 OFFSET 1212
 PennDOT MINIMUM USE DRIVEWAY APPLICATION NO. 353387



DESIGN DESIGNATION - SR0743
 Highway Classification-
 Functional Class- (Minor Arterial) Class "B", "C"
 Roadway Typology- (Urbanized)
 Design Speed- 45 M.P.H.
 Pavement Width- NB-12' SB-12'
 Shoulder Width- Existing NB- 6' SB-6', Proposed- NB-6' TRUCK

TRAFFIC DATA
 Current A.D.T. - 14,644 (2024)
 Design Year A.D.T. - 15,089 (2030)
 D.H.V. - 760
 D - 56%
 T - 4%
 TRUCK - 5%

PREPARED FOR
REPLER INVESTMENTS, LP.
 1709 Cross Field Drive
 Lancaster, Pa 17603
 PHONE: 717-629-6718

PUBLIC UTILITIES:

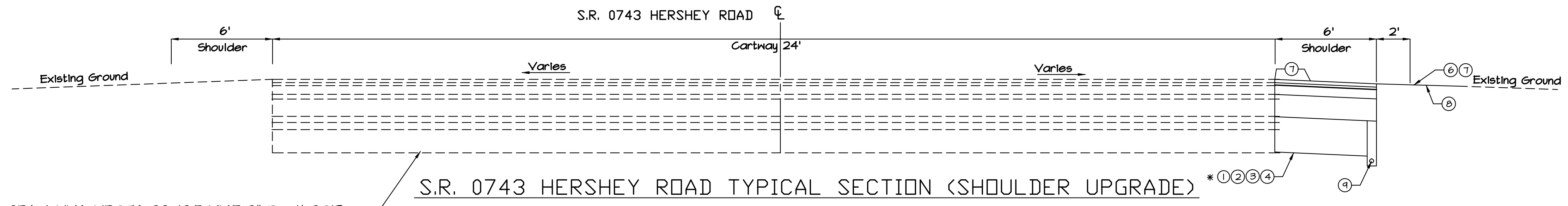
- Centurylink
 Contact: Customer service
 Http://www.centurylink.com
 1-800-244-1111
- Comcast Cable Communications Inc.
 Middletown, Pa 17057
 Contact: Office Personnel
 Email: www.comcast.net
 1-800-545-1141
- Elizabethtown Area Water Authority
 211 N. Hummelstown St.
 Elizabethtown, PA 17022
 717-367-7448
 EAWA@etown-water.com
- Elizabethtown Regional Sewer Authority
 235 Ersa Drive
 Elizabethtown, PA 17022
 717-367-5947
 gaye@ersapa.com
- USI Utilities Inc.
 1301 Alp Drive
 Middletown, Pa 17057
 Contact: Joanne Archfield
 1-800-276-2122
- Mount Joy Township
 8853 Elizabethtown Road
 Elizabethtown, PA 17022
 717-367-8417
 Justin@mtjoytwp.org
- PPL Electric Utilities
 651 Delp Road
 Lancaster, Pa 17601
 717-291-3000

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PA 1
 CALL SYSTEM, INC.
 1-800-242-1176
 Serial #20221813653

PREPARED BY:
JHA COMPANIES
 3705 Trindle Road
 Camp Hill, PA 17011

Theodore D. Austin, P.E.
 Date: November 11, 2024



S.R. 0743 HERSHEY ROAD TYPICAL SECTION (SHOULDER UPGRADE)

NOT TO SCALE
 STA. 306+91.88 SEG 0144 OFF 1078 TO
 STA. 308+16.02 SEG 0144 OFF 1202

SFAV, WMA WR6,76-22, 12.5 MME 2" Depth, 2013
 SFAV, WMA WR6, SCRC, 64-22, 9.5 MME, 0.5" Depth, 2013
 Bituminous Wearing CRSE ID-2, 1.5" Depth, 1998
 Level Bituminous Wearing CRSE ID-2 1" Depth, 1998
 Milling (Average Depth), 1.5" Depth, 1998
 Bitum Concrete Base Course, 1" Depth, 1998
 Bituminous Wearing CRSE ID-2, 3" Depth, 1972
 Bituminous Wearing CRSE ID-2, 2.25" Depth, 1951
 Bituminous Wearing CRSE HE-1, 2" Depth, 1941
 Crushed Aggregate Base CRSE, 8" Depth, 1941

GENERAL PERMIT NOTES

- The Existing Speed Limit on S.R. 0743 is 45 M.P.H.
- The Right-of Way is free access
- All Work in PA State Highway Right-of-Way is to be Performed Consistent with the following:
 - PennDOT Publication 13M, Design Manual Part 2-Highway Design
 - PennDOT Publication 34, Approved Aggregate Producers (Bulletin 14)
 - PennDOT Publication 35, Approved Construction Materials (Bulletin 15)
 - PennDOT Publication 41, Producers of Bituminous Materials (Bulletin 41)
 - PennDOT Publication 42, Producers of Ready-Mix Concrete (Bulletin 42)
 - PennDOT Publication 46, Traffic Engineering Manual
 - PennDOT Publication 72M, Standards for Roadway Construction
 - PennDOT Publication 111, Pavement Markings and Signing Standards
 - PennDOT Publication 212, Official Traffic Control Devices
 - PennDOT Publication 213, Temporary Traffic Control Guidelines
 - PennDOT Publication 408, Specifications.
- Details, other than those indicated, are on the following Standard Drawings:

RC-10M	June 1, 2010	TC-8600	June 13, 2013
RC-13M	June 1, 2010	TC-8702B	June 13, 2013
RC-25M	Feb 8, 2019		
- The Driveway has been Designed and will be Constructed and Maintained Consistent with Title 67, Chapter 441 Regulations.
- PA State Highway Right-of-Way May Not be Used for Parking.
- Permittee is Responsible for maintenance of all Authorized Structures, Facilities and Drainage.
- Permittee is Responsible for maintenance of all Authorized Signs and Pavement Markings.
- Contact Pennsylvania One-Call (1-800-242-1776) three working days before excavation or demolition work. Serial No.- 20221873653 (Mount Joy Township)
- Anticipated Traffic utilizing this driveway will:

15 Cars	3 Trucks	0 Combination	0 Buses
---------	----------	---------------	---------

 Average Daily Traffic (ADT) count of 36.
- Distance to Nearest Intersection is:

Right, 4,155' +/- (T-871 Beverly Road),	Left- 858' (Ammon Avenue)
---	---------------------------
- Distance to Nearest Traffic Signal is: NA
- Distance to Nearest Opposite Driveway is: Rt. 870' Lt. 0'
- Distance to the Nearest Adjacent Driveway is: Rt. 90' Lt. 60'
- If a Traffic Signal is within 500 Feet of the Site, Call the District Traffic Engineer at District 8 at least 3 Days Prior to the Start of Work.
- The permit may be restricted on working hours and times for holidays, weekends and special or unforeseen events and will require approval from the county office prior to working during these periods.
- The permittee's contractor shall sawcut and remove shoulder material as necessary to ensure the pavement replacement is adjacent to the full-depth pavement of the travel lane.
- Final approval of the proposed sawcut location will be at the discretion of the inspector-in-charge and will be confirmed at the pre-construction meeting. If the sawcut must be located within a travel lane, it will be necessary to mill and overlay the travel lane to prevent a joint in a wheel path.
- The proposed pavement section must be as indicated on the plan, or match the existing as found in the field, whichever is greater
- All existing pavement markings which are no longer appropriate shall be eradicated by the permittee. The permittee shall place all required new pavement markings.
- All pavement markings other than longitudinal lines to be hot thermoplastic (Publication 111, TC-8600)
- Match existing pavement markings at the limits of work
- Material certification must be provided, by an approved manufacturer listed in the department's publication 35 (Bulletin 15), for all materials and structures within PENNDOT Right-of-Way.
- All slope measurements will be inspected/verified with a 2-foot spirit level.
- The permittee is responsible for the coordination of relocating any conflicting utilities which are a result of these improvements.
- The legal Right-Of-Way For Hershey Road S.R.0743, is 60 Feet.
- The base mapping utilized for design of this project was prepared by Burch Associates 340 Berryburg Road, Suite 1, Millersburg, Pa 17061 717-692-2274
- The responsibility for ensuring that all utility poles within the proposed paving are relocated outside of paved areas and shoulders shall be that of the permittee. The utility poles must be relocated before the start of any paving operation.
- All utility relocation permits take precedence over the utility relocation positions shown on the HOP plans.
- The Maximum design vehicle size for the proposed driveway will be WB-62

MPT NOTES:

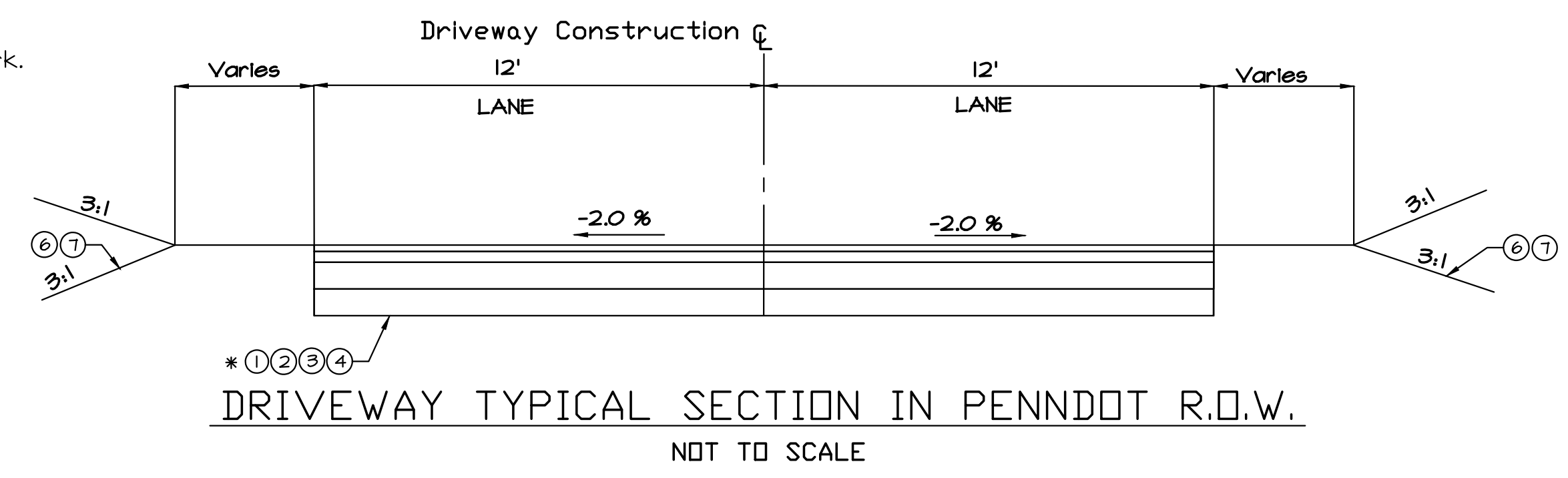
- This Work Consists of Maintenance of Traffic and Protection of the Public when approaching and departing the Construction Area and within the Limits of Construction.
- Furnish, Erect, Place and Maintain Traffic Control Signs and Devices. Maintain traffic during hours of construction and at all other times consistent with the methods indicated on these drawing and the following:
 - PennDOT Publication 35, Approved Materials (Bulletin 15);
 - PennDOT Publication 46, Traffic Engineering Manual;
 - PennDOT Publication 72M, Standards for Roadway Construction;
 - PENNDOT Publication 111, Pavement Markings and Signing Standards;
 - PennDOT Publication 212, Official Traffic Control Devices;
 - PENNDOT Publication 213, Temporary Traffic Control Guidelines;
 - PennDOT Publication 236, Handbook of Approved Signs;
 - PENNDOT Publication 408, Specifications;
 - MUTCD, Current Edition.
- Remove these devices immediately upon completion of the work. The Department will remove any Traffic Control Devices erected by Department Forces.
- Permittee must arrange for inspection of all traffic control devices prior to Start of Work.
- Cover or remove all conflicting signs and eradicate all conflicting pavement markings.
- Mount all Long Term Advance Warning Signs on Type III Barricades unless otherwise noted or instructed by District Office.
- All signs and devices to be maintained in new or like new condition.
- Driveways will be kept accessible at all times. Locate all signs so that sight distances will not be obstructed at Driveways and Local Roads.
- All channelling devices, barricades and signs shall have Type III or better prismatic retroreflective sheeting. Sheeting shall be approved and listed in PennDOT Publication 35 (Bulletin 15)
- No traffic restrictions or lane closures are permitted between 6:00 AM and 9:00 AM and between 3:00 PM and 6:00 PM Mondays through Fridays or on Legal Holidays and weekends associated with Legal Holidays. All restrictions and closures are to be removed by noon on the day prior to the Legal Holiday.
- Permittee shall notify Local Emergency Authorities (e.g., Police, Fire Medical), Affected Business, School District(s), The General Public, The District Permit Manager and The District APRAS Coordinator at least fourteen days prior to any significant traffic impacts (e.g., Lateral Width Restrictions Less Than 16 Feet, Detours).
- Maintenance and Protection of Traffic during construction shall be in accordance with applicable PATA drawings 101, 102, 107, 201 and 202 in the current PennDOT Publication 213, "Temporary Traffic Control Guidelines".
- Dropoffs created by construction operations shall be treated consistent with Publication 408, Section 901.03
- Remove all short-term work zone traffic control signage upon completion of that day's work period.
- Restricting traffic flow within the work area shall be minimized to prevent traffic congestion and unsafe traffic conditions.
- Notify the local municipality where signalized intersections fall within the work zone. Do not flag a signalized intersection without the municipality placing the signal on flash.
- The contractor shall comply with Act 229 of December 2002 during construction activities within PennDOT's Right-of-Way.

NOTES:

- The depths of the materials shown are for design purposes only. Any risk of unanticipated costs associated with differences between the listed depths and actual depths shall be accepted by the contractor.
- Sawcut all existing pavement and seal with PG 645-22.
- the contractor shall sawcut and remove shoulder material as necessary to ensure the pavement replacement is adjacent to the full-depth pavement of the travel lane.
- If existing base drain is encountered along the state highway during construction. Then new base drain must be installed within the reconstructed area and connected to the existing base drain.
- Existing pavement information was obtained from the PennDOT pavement history web page.

MATERIALS LIST:

- Superpave Asphalt Mixture Design, Wearing course PG 645-22, 0.5 To <3.0 Million Esals, 12.5 MM Mix, 2.0" Depth, SRL-G
 - Superpave Asphalt Mixture Design, Binder course PG 645-22, 0.5 To <3.0 Million Esals, 19.3 MM Mix, 3.0" Depth,
 - Superpave Asphalt Mixture Design, Base course PG 645-22, 0.5 To <3.0 Million Esals, 25.0 MM Mix, 5.0" Depth Or match Existing, Whichever is greater
 - Subbase, 10" Depth (No. 2a) (Or match existing, Whichever is greater)
 - Full depth saw cut and seal with PG 645-22
 - Topsoil, 4 " Depth
 - Seeding and soil supplements - Formula B
 - Embankment material
 - 6" Pavement base drain
- * ASPHALT TACK COAT APPLIED BETWEEN EACH PAVEMENT LAYER



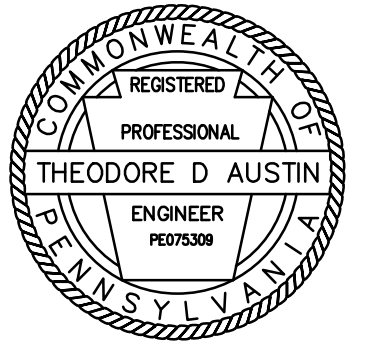
PUBLIC UTILITIES:

- | | |
|--|---|
| <p>Centurylink
 Contact: Customer service
 Http://www.centurylink.com
 1-800-244-1111</p> <p>Comcast Cable Communications Inc.
 Middletown, Pa 17057
 Contact: Office Personnel
 Email: www.comcast.net
 1-800-545-7741</p> <p>Mount Joy Township
 8853 Elizabethtown Road
 Elizabethtown, PA 17022
 717-367-8917
 Justin@mtjoytwp.org</p> <p>PPL Electric Utilities
 651 Delp Road
 Lancaster, Pa 17601
 717-291-3000</p> | <p>Elizabethtown Area Water Authority
 211 W. Hummelstown St.
 Elizabethtown, PA 17022
 717-367-7448
 EAWA@etown-water.com</p> <p>Elizabethtown Regional Sewer Authority
 235 Ersa Drive
 Elizabethtown, PA 17022
 717-367-5947
 gaje@ersapa.com</p> <p>UGI Utilities Inc.
 1301 Alp Drive
 Middletown, Pa 17057
 Contact: Joanne Archfield
 1-800-276-2722</p> |
|--|---|

REVISIONS	
Date	Comments

REPLER INVESTMENTS, LP.
 1709 Cross Field Drive
 Lancaster, Pa 17603
 PHONE: 717-629-6718

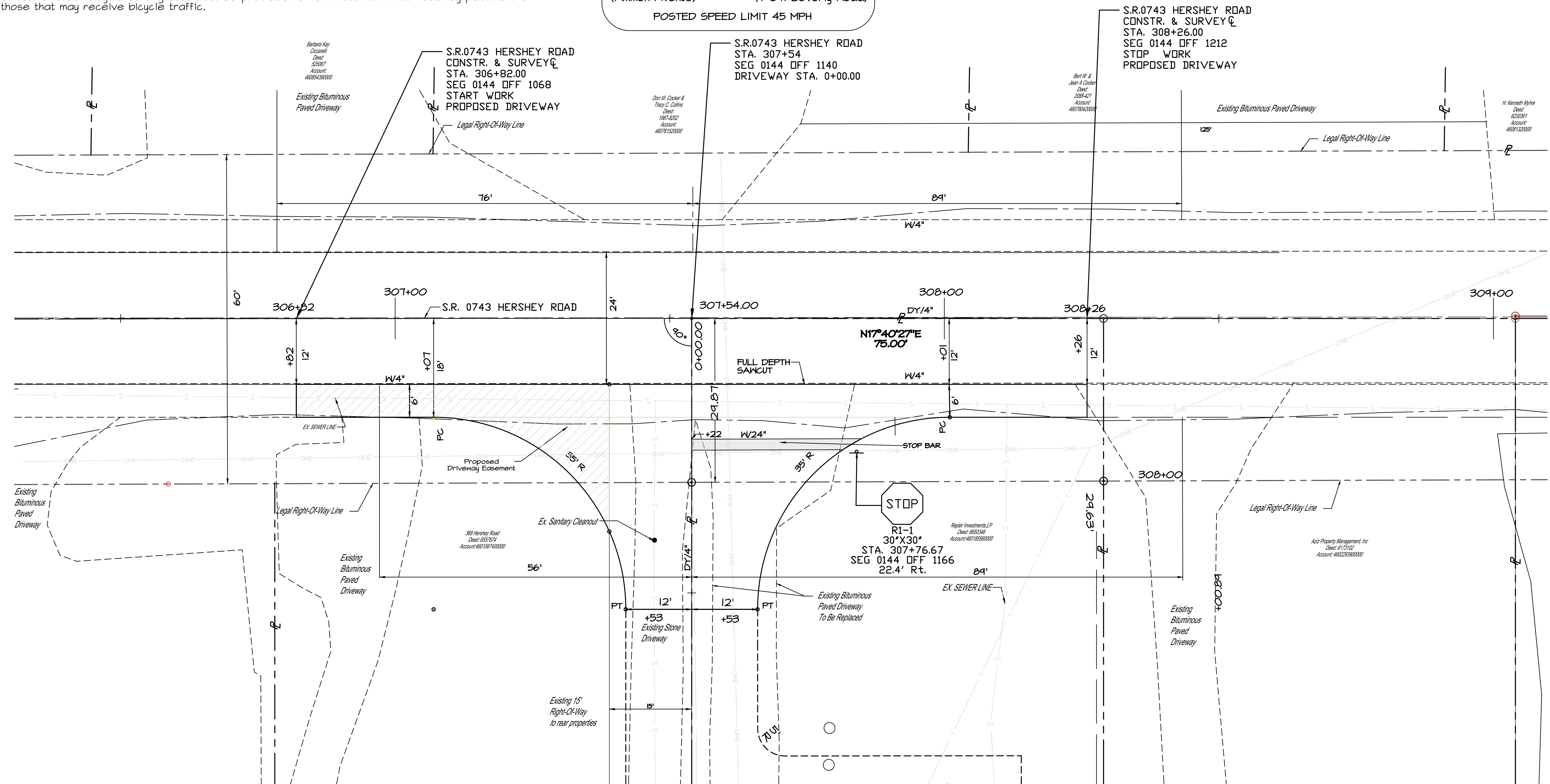
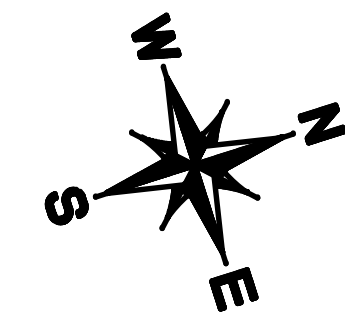
HIGHWAY OCCUPANCY PERMIT PLAN
 Application #353381
 for
REPLER INVESTMENTS, LP.
 situated in
 Mount Joy Township
 Lancaster County, Pennsylvania
 Date: November 11, 2024 Drawing No.: HOP-2



NOTES:

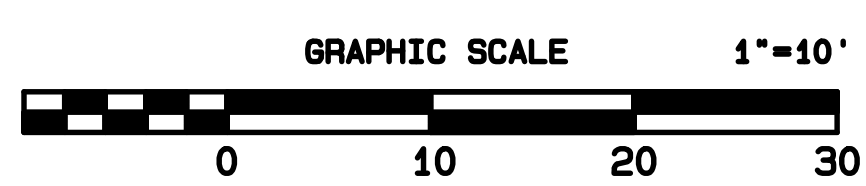
1. The contractor is Responsible for the coordination of relocating any conflicting utilities which are a result of these improvements.
2. The Permittee shall ensure that the sight distance at the driveways servicing other properties or at other intersections is not reduced (Unless existing and proposed values exceed the acceptable values specified in Pennsylvania code(67 Pa code 441.8(h)(2)(iv)) as a result of the work performed in accordance with the state highway occupancy permit.
3. The contractor is to field verify all existing utilities and their elevations prior to starting construction.
4. It is the responsibility of the contractor to remove any debris and flush out all existing and new storm drainage facilities within the project limits at the completion of the construction.
5. Structural steel bicycle safe grates must be provided for all inlets within the roadway pavement of those that may receive bicycle traffic.

MINIMUM USE DRIVEWAY
 STA. 0+00.00 =
 S.R. 0743 HERSHEY ROAD STA. 307+54.00
 SEGMENT 0144 OFFSET 1140
 ANTICIPATED DRIVEWAY ADT - 28
 REQUIRED EXISTING SIGHT DISTANCE
 398 FEET 370 FEET
 AVAILABLE SIGHT DISTANCE
 1,000 + FEET 1,000 FEET
 DRIVEWAY (ADJACENT)
 56 FEET 89 FEET
 DRIVEWAY (OPPOSITE)
 76 FEET 89 FEET
 TRAFFIC SIGNAL
 >1,000 FEET >1,000 FEET
 INTERSECTION
 858 FEET 4,155' +/-
 (Ammon Avenue) (T-871 Beverly Road)
 POSTED SPEED LIMIT 45 MPH



LEGEND

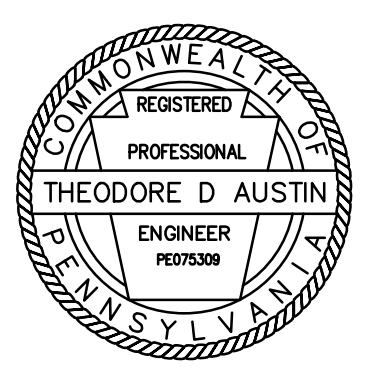
	Full-Depth Pavement
	Proposed Stop Bar
	Post Mounted Sign, Type B
	Single White Line/Width
	Double Yellow Line/Width
	Ex. Sanitary Sewer Line
	Ex. Water Line
	Legal Right of Way

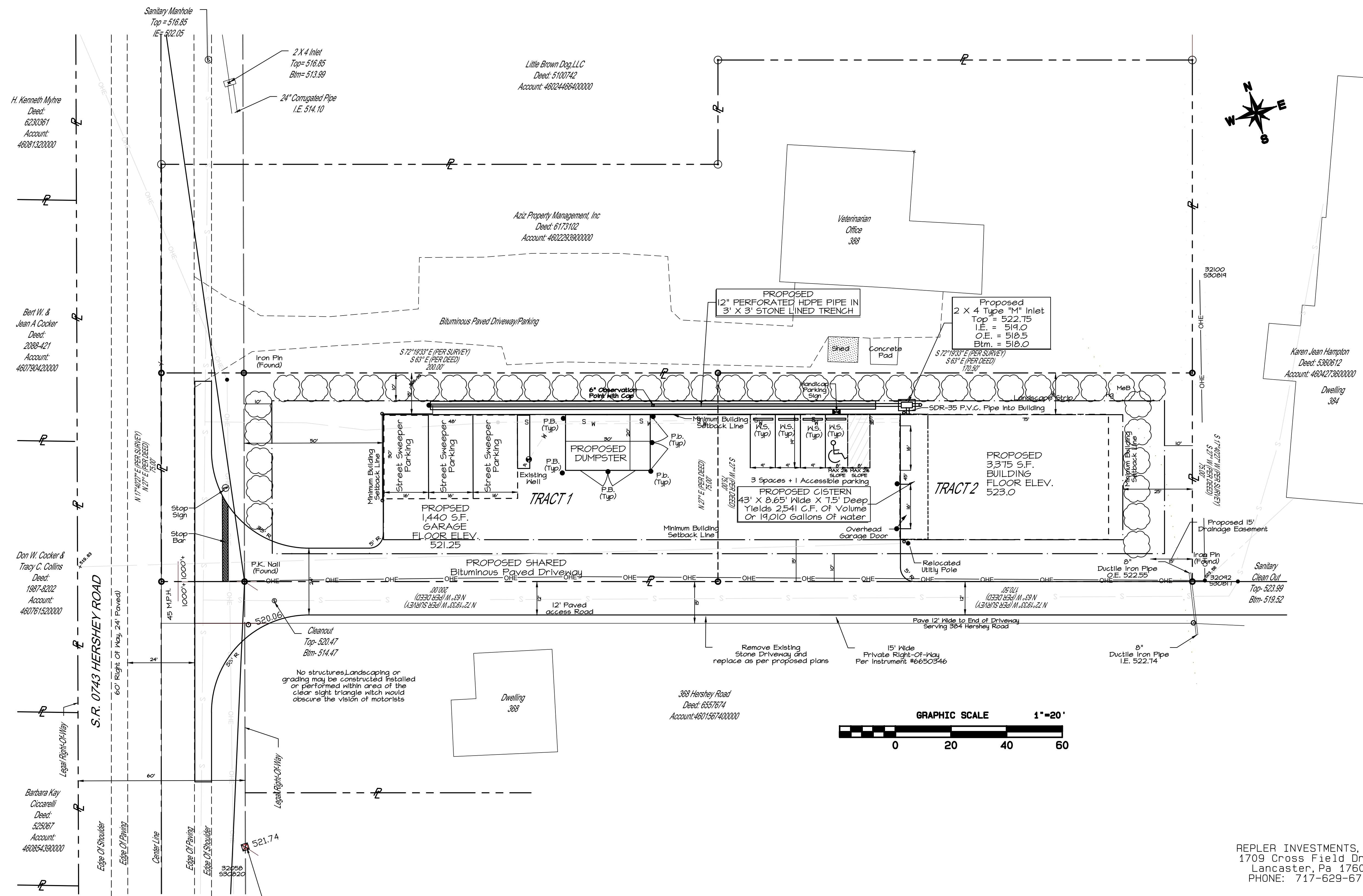


REPLER INVESTMENTS, LP.
 1709 Cross Field Drive
 Lancaster, Pa 17603
 PHONE: 717-629-6718

REVISIONS	
Date	Comments

CONSTRUCTION, SIGNING & PAVEMENT MARKING PLAN
 Application #55338T
 for
REPLER INVESTMENTS, LP.
 situated in
 Mount Joy Township
 Lancaster County, Pennsylvania
 Date: November 11, 2024 Drawing No.: HOP-3





H. Kenneth Myhre
Deed: 6230261
Account: 46081320000

Bert W. & Jean A Coker
Deed: 2088-421
Account: 460780420000

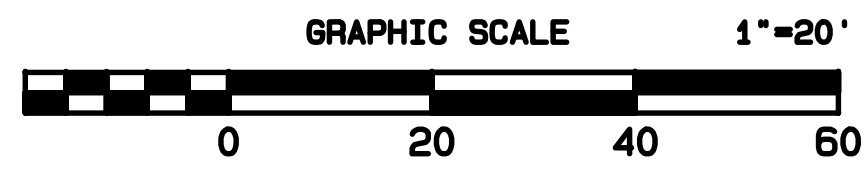
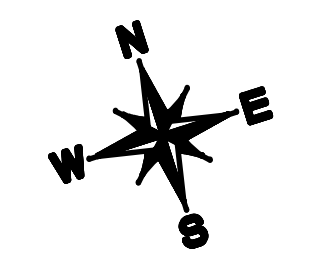
Don W. Coker & Tracy C. Collins
Deed: 1987-8202
Account: 460761520000

Barbara Kay Ciccarelli
Deed: 528067
Account: 460854380000

Little Brown Dog, LLC
Deed: 5100742
Account: 4602446800000

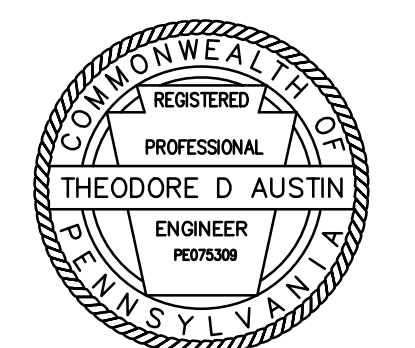
Aziz Property Management, Inc
Deed: 6173102
Account: 4602293800000

368 Hershey Road
Deed: 6557674
Account: 4601567400000



REVISIONS	
Date	Comments

REPLER INVESTMENTS, LP.
1709 Cross Field Drive
Lancaster, Pa 17603
PHONE: 717-629-6718



Overall Site Plan
Application #353387
for
REPLER INVESTMENTS, LP.
situated in
Mount Joy Township
Lancaster County, Pennsylvania
Date: September 26, 2024 Drawing No.: HOP-5



November 11, 2024

Lancaster Civil
Benjamin S. Craddock, P.E., President
PO Box 8972
Lancaster, PA 17604-8972
Submitted via email: Benjamin Craddock <bencraddock@lancastercivil.com>

RE: 380 Hershey Road
Preliminary/Final Land Development Plan
Township Permit No. 23-05-FLDP
East Hempfield Township, Lancaster County, Pennsylvania
JHA No. 2024-0843

Dear Mr. Craddock,

Please find below JHA's responses to your comments listed in the letter dated October 15, 2024.

Zoning Ordinance

1. At a Zoning Hearing Board meeting on April 6, 2022, the Board granted the following:
 - a. Special Exception per Section 135-7 to establish a use (i.e. street sweeping) not specifically provided for.
 - b. Special Exception per Section 135-343.G to reduce the number of required off-street parking spaces to a total of three plus one ADA-compliant spaces.
 - c. Variance from Section 135-325.D(1) to permit a dumpster within the required 50' dumpster setback.

Response: Acknowledged. No response required.

2. Cross access easements shall be provided for all joint-use driveways (135-321.C). There appears to be an existing 15' wide right-of-way as referenced in the property deed (Instrument #6650346); however, to our knowledge there is no corresponding easement agreement that ensures the common use of, access to, and maintenance of the existing or proposed joint-use driveway. Additionally, the proposed driveway width exceeds the existing 15' wide right-of-way width, therefore, a larger cross access easement is required regardless. This cross access easement shall be shown on the plans.

Response: A thorough research of the Lancaster Courthouse records did not produce any existing cross access easement(s) for the adjoining properties. A new cross access easement has been prepared and is submitted herein and incorporated as part of the plan.

3. All dumpsters shall be screened from adjoining roads and properties and be completely enclosed within a sight tight masonry or fenced enclosure with a self-latching door or gate. Chain link fencing shall not be utilized (135-325.D(1)).

Response: Upon further evaluation of their business plan, the Owners have determined that any sediments removed from a property cleaning will be disposed of on that property. This is for liability and financial reasons. Therefore, they requested that the dumpster and related enclosure and accessories be removed from the land development plan. They have opted to just utilize standard small household-size, portable containers. The previous concrete area is now shown as standard blacktop. The plans have been revised accordingly.

Subdivision and Land Development Ordinance

4. The linetype and linetype color of the right-of-way shown in the plan view is inconsistent with that shown in the legend (119-31.A(4)). The fence linetype shown in the legend on Sheet 5 is inconsistent with the fence linetype shown around the dumpster on Sheet 8.

Response: The linetype and linetype color of the right-of-way is now consistent with the legend. The fence linetype shown on the legend is not required since the dumpster enclosure has been removed from the plans.

5. Since Glace Associates has been acquired by the JHA Companies, the engineer shall confirm whether the name of the firm that prepared the plan needs to be updated (119-31.B(3)).

Response: The engineering firm information has been updated to JHA Companies, Inc.

6. The plan shall identify all prior plans, including all notes or restrictions affecting the current development, with a verification signed by the design professional that such list is complete and correct (119-31.B(14) & 119-51.C).

Response: There are no known prior plans of 380 Hershey Road, thus there are no notes or restrictions affecting the development. A note on the cover sheet signed by the engineer verifies this finding.

7. A wetlands study shall be provided (119-32.B & 119-34.E(3)(c)). The applicant has requested a waiver of this requirement.

Waiver response: The National Wetlands Inventory website indicates that no wetlands exist on either the existing lot, and the soils present on the lots are not hydric soils (e.g. the soils typically do not support wetland plants or wetland wildlife). In addition, the design engineer indicates that no standing water is present on site and the entire property has historically been impervious or mowed. Based on these considerations, I do not have any objections to this waiver request.

Response: No additional response provided on the wetland waiver request.

8. A traffic impact study is required since the development is a nonresidential development with a building in excess of 1,000 square feet of usable space. The applicant indicates the developer intends to make a contribution in lieu of traffic study (119-32.C(2) & 119-32.C(6)).

Modification response: Section 119-32.C(6) allows a waiver of the preparation of a traffic study, if the developer makes a contribution in lieu of a traffic study. The developer has agreed to make such a contribution. The estimated contribution shall be \$1.50 per square foot of usable building floor area. I have no objections to this modification provided that the applicant satisfies the requirements of this section:

- a. Provide a certification of the usable building floor area.
- b. The contribution is in addition to traffic impact fees required under Chapter 125 and all other review fees.
- c. All contributions shall be paid prior to recording of the final plan.

Response: No additional response provided on the traffic impact study waiver request.

9. All certificates shall be executed prior to final plan approval (119-35.E).

Response: Acknowledged. All certifications shall be executed prior to plan approval.

10. Written notice shall be provided from the DEP that approval of the sewer planning module has been granted or notice from the Department that such approval is not required (119-35.E(2)(a) & 119-60.A). The response letter indicates that the Elizabethtown Area Regional Authority (presumably ERSA) has "signed off" on this project; however, the ordinance requires that notice be provided from DEP.

Response: The planning module exemption mailer was provided to Mt. Joy Township and has been signed and forwarded to DEP. See attached DEP receipt and supporting documentation.

11. Legal descriptions for easements to be dedicated to the Township, including but not limited to drainage easements, shall be provided (119-35.E(4)(b)).

Response: Legal descriptions for the easements to be dedicated to the Township are included for the drainage easements and access easements.

12. A Stormwater Management Agreement and Declaration of Easement in a form acceptable to the Township Solicitor shall be executed and recorded (119-35.E(4)(c), 119-56.E & 113-62).

Response: Acknowledged. An updated Stormwater Management Agreement and Declaration of Easement has been provided to the Township solicitor and also enclosed herein.

13. An easement will be required for the proposed grading and driveway improvements on the adjoining Hampton and 368 Hershey Road (Shoop Holdings, Inc.) properties (119-35.E(4)(e)). This easement shall be shown on the plans.

Response: An easement was prepared, and it was signed by the adjoining property owner and was submitted to PennDOT along with the HOP driveway application. A copy of the easement is attached.

14. A land development agreement in a form acceptable to the Township Solicitor shall be executed (119-35.E(4)(f)).

Response: An updated land development agreement has been provided to the Township Solicitor, a copy of which is included with this package for review.

15. Financial security shall be provided. (119-41 & 113-60). The cost estimate shall include the costs for the existing pavement removal, 6" PVC Roof Leaders, as-built plan, and 10% construction contingency. The "extended" costs for numerous items shall be corrected (i.e. they should not be rounded). The number of estimated units for the "Bollards" and "Downspouts and filters" shall be corrected. The costs for sanitary sewer lateral, waterline extension, electric trench, and site electric do not need to be included in the cost estimate.

Response: The cost estimate has been revised and is provided in this package.

16. The frontage along Hershey Road (S.R 743) shall be improved in accordance with 119-52.J or as indicated on the Township Official Map, whichever is greater. Improvements include pavement widening, concrete curbing, and concrete sidewalk. The required cartway width for an arterial street within the Designated Growth Area is 36 feet (119-52.J(3)(a) & 119-53.B(2) / 119-53.C). The applicant has requested a waiver of this requirement.

Waiver response: There are no concrete curbs or sidewalks provided for the adjacent or nearby properties and Hershey Road (a State road) has an existing shoulder. No pedestrian traffic would be anticipated to be generated by the proposed development. Based on these considerations, I have no objection to a deferral of this requirement with the condition that a deferral agreement be executed and recorded in a form acceptable to the Township Solicitor.

Response: No additional response provided on the concrete curb and sidewalk waiver request.

17. The developer shall take all necessary action to obtain PennDOT permits and/or approvals to install the necessary improvements to the state roadway (119-52.J(3)(e) & 119-52.S(3)(m)).

Response: An HOP driveway application has been submitted to PennDOT. No response has been received yet.

18. It appears the extents of the asphalt paving improvements shown on the Highway Occupancy Permit Plans are inconsistent with the extents of the asphalt paving improvements shown in the Driveway Typical Section In PennDOT R.O.W. construction detail (119-52.J(3)(e)).

Response: The extents of the asphalt paving improvements on the two plans are now consistent.

19. Clear sight triangles shall be provided for the access drive. The clear sight triangle shall be labeled with appropriate dimensions provided. Deeds to lots which contain clear sight triangles shall include the restriction that no structures, landscaping or grading may be constructed, installed or performed within the area of the clear sight triangle which would obscure the vision of motorists (119-52.L).

Response: Clear sight triangles have been dimensioned and labeled on the plans. The deeds for the 2 affected properties will be updated to include the clear sight triangles.

20. The stopping sight distances shown on Sheet 8 of the plans is inconsistent with the stopping sight distance information shown on the highway occupancy plans and other plan sheets (119-52.L).

Response: The stopping distances are now consistent on all plan sheets.

21. The slope requirements for the ADA accessible parking space shall specify a max 2% slope in all directions (119-53.A(2)).

Response: The maximum slope requirement has been added to the plans.

22. Sidewalks shall be provided along access drives (119-53.B(1)). The applicant has requested a waiver of this requirement.

Waiver response: Pedestrian traffic is expected to be minimal for the proposed development and use. In addition, there are no existing sidewalks along Hershey Road. Based on these considerations, I have no objections to a waiver of this requirement; however, the waiver request letter should be updated to state the justification for this waiver request.

Response: No additional response provided on the sidewalk waiver request along the access road.

23. Concrete curbs shall be provided along the access drive and along the edge of any landscaped portions of the parking facility (119-53.C(1)). The applicant has requested a waiver of this requirement.

Waiver response: Curbing is not required for capturing stormwater runoff. Minimal pedestrian traffic is anticipated for the proposed development. In addition, there are no existing curbs along Hershey Road. Based on these considerations, I have no objections to a waiver of this requirement;

however, the waiver request letter should be updated to state the justification for this waiver request.

Response: No additional response provided on the concrete curb waiver request along the access road.

24. A minimum 30 foot wide access easement shall be provided for the stormwater facilities. The requirements in the Maintenance Of Drainage Easement note on Sheet 5 shall be included in the new deed. The applicant shall be responsible for completing a declaration of easement and stormwater management agreement in a form that is acceptable to the Township Solicitor (119-56.D, 119-56.E, 113-31.R & 113-31.Q).

Response: A minimum of a 30-foot wide easement will be provided for the stormwater facilities within the site, except the drainage easement at the rear of the property. A waiver is being requested for the 15' wide drainage easement to the rear of the property. The new deed for the property will include the requirements in the Maintenance of Drainage Easement note on Sheet 5.

The developer's attorney is working on a Declaration of Easement and Stormwater Management Agreement in a form acceptable to the Township Solicitor.

25. Any action taken on waiver requests, dates, and any conditions of approval shall be added to the cover sheet (119-91.C).

Response: Any actions on the waiver requests, dates and any conditions of approval shall be added to the plans upon receipt/notification of approvals.

Stormwater Management Ordinance

26. The following erosion and sediment control items shall be addressed (113-31.E & 113-43.K):
- Design information, including calculations, shall be provided for compost filter sock #4 shown on the plans
 - The "Anticipated Project Schedule" on Sheet 5 of the plans shall be updated.

Response: Erosion and sediment control items to be addressed as follows:

- Design information, including calculations, has been provided for compost filter sock #4.**
- The "Anticipated Project Schedule" has been updated.**

27. A minimum thirty-foot-wide access easement shall be provided for all stormwater facilities with tributary areas equal or greater than 1,000 square feet and not located within a public right-of-way (113-31.Q).

Response: A minimum 30-foot wide access easement has been provided for all stormwater facilities with tributary areas greater than 1,000 square feet and not located within a public right of way except for a 15-foot wide drainage easement to the rear of the property. See revised Sheet No. PCSMP-1.

28. All regulated activities (i.e. limit of disturbance) shall be included in the rate and volume control calculations (119-32 & 119-33).

Response: All regulated activities, including the limit of disturbance, have been included in the attached revised stormwater report rate and volume control calculations.

29. Evidence (i.e. hydrographs) shall be provided that show the rate control calculations include the entire limit of disturbance. The pre/post-development hydrographs and pond report shall be provided to confirm the resulting information on the hydrograph summary report and hydrograph return period recaps. (113-33).

Response: The revised hydrographs show the rate control calculations including the entire limit of disturbance. The hydrographs are included in the updated stormwater report.

30. Stormwater runoff from a development site to an adjacent property shall flow directly into a natural drainageway, watercourse, or into an existing storm sewer system, or onto adjacent properties in a manner similar to the runoff characteristics of the predevelopment flow (113-34.B). The plan shall show that the stormwater discharge from the stormwater collector trench controls complies with this requirement. (The proposed trench is not level; therefore, the overflow will not be spread out but will discharge via the lowest point of the trench. This discharge will then cross into the Aziz property in a (presumably) more concentrated manor than it currently does in pre-development.)

Response: The stormwater discharge from the stormwater collector trench complies with the Stormwater Regulation 113-34.B in that the surface of trench will be level so that the stormwater will continue to cross the property line with Aziz similar to the current pathway it now takes.

31. Stormwater flows onto adjacent property shall not be altered without written notification of the adjacent property owner(s) by the applicant. Copies of all such notifications shall be included in the SWM site plan submissions (113-34.C). A drainage easement burdening the adjacent Aziz property may need to be acquired for the discharge from stormwater collector trench controls unless the designer can show that stormwater flows are not altered from the pre-development condition.

Response: The stormwater design does not adversely alter the adjacent Aziz property to the north. The future stormwater off the Repler property is less than currently experienced.

32. The pipe system (i.e. inlet, 12" HDPE, stormwater collector trench controls) conveying runoff to the cistern shall be designed for the 100-year storm (113-34.G(3)).

Response: The stormwater pipe system including from the inlet to the cistern have been designed to accommodate the 100-year storm. The pipe size is now 15"

33. The time of concentration flow paths shall be shown on the drainage area maps (113-35.B & 113-35.F). Please note that the pre-development time of concentration shall be calculated (an assumption of 5 minutes is not conservative) (113-35.I).

Response: See attached revised drainage area maps that address the concentration flow paths. The pre-development and post-development times of concentration were recalculated as per site conditions. These calculations and updated maps are included in the stormwater report.

34. The PCSM Report indicates that the roof leaders from the proposed garage are to be connected directly to the proposed 12" perforated HDPE pipe; however, the roof leaders from the proposed building will connect directly to the proposed cistern (113-37.C).

Response: The PCSM report narrative has been revised to address the proposed connections to the proposed cistern. The Garage roof leaders connect to the trench pipe, but the main building will connect directly to the cistern.

35. The minimum slope for pipes is 0.5% (113-37.C(1)(a)[2]). The 12" HPDE pipe between the inlet and the cistern shall meet this requirement.
Response: The pipe has been calculated for 100-year flow, at the minimum 0.5% slope. The pipe size is now 15"
36. A trench detail specifying the required pipe backfill material shall be provided (113-37.C(3)(a)).
Response: A revised trench detail more clearly identifying the pipe backfill material is shown on revised Sheet No. 6, ES-1.
37. Evidence shall be provided for the cistern storage volume (19,010 gallons) and the additional storage volume above the pipe invert (930 cf) described in the Capture And Reuse Facilities project narrative (113-38.B(1)). This cistern storage volume number is inconsistent with the "Volume in Cistern" value shown in the "Calculation of Stored Volume of Stormwater" worksheet (14,834 gallons). The additional storage volume above the pipe invert value appears to be inconsistent with the "Volume Above invert of 12" Pipe" value (372 cf) shown in the same worksheet.
Response: The calculations of the storage volume of the cistern and above the pipe invert is now consistent as per the attached revised stormwater report. The pipe size is now 15".
38. The Capture and Reuse Facilities narrative indicates that 5% of the 2 year stored volume equals 425 gallons per day; however, the "Calculation of Stored Volume of Stormwater" worksheets indicates that 5% of the stored volume equals 741.7 gallons per day (113-38.B(2)). These values shall be confirmed. Also, it appears that the total capture and reuse volume for water reuse should equal the volume within the cistern, the trench and the pipes.
Response: The calculations of the total stormwater stored volume, and the 5% daily reuse calculations are now consistent and shown in the updated stormwater report.
39. The PCSM Report and/or plans shall include sufficient detail showing the proposed method of dewatering (i.e. pump) (113-38.B(6)).
Response: Additional details of the proposed pump are included as an attachment to the updated stormwater report.
40. The landowner shall execute the final documents prior to final plan approval (113-41.B).
Response: Acknowledged. Final documents will be executed prior to final plan approval.
41. The names of the roof leaders (i.e. P-3) shown on Sheet 4 of the plans shall be corrected (113-42.A).
Response: The names of the roof leaders are now consistent between the plans and the updated stormwater report. The label for the garage has been corrected.
42. The plans should provide spot elevations to the southeast of the proposed building to confirm the post-development drainage area boundaries to the cistern and post-development bypass drainage area (113-43.J(1)).
Response: Spot elevations southeast of the proposed office building to the property corner to confirm the post-development drainage area boundaries to the cistern and post-development bypass drainage area.

43. The designer shall clarify the meaning of the hatches on the eastern and western portions of the subject tract shown on Sheet 4 of the plans (113-43.J(2)).
Response: The shading of these areas has been removed as shown on revised Sheet 4.
44. The center 6" Observation Point With Cap shall be shown in the Stormwater Collector Trench Controls detail (113-43.J(5)).
Response: The 6" Observation Point With Cap is now also shown in the Stormwater Collector Trench Controls detail on revised Plan No. 6, ES-1.
45. The diameter of the 12" Cap Cleanout shown in the Stormwater Collector Trench Controls detail is inconsistent with the 6" Observation Point on 12" Tee label (113-43.J(5)).
Response: The 12" Cap Cleanout details has been revised and is now a 6" observation point and is shown on revised Sheet 4.
46. The applicant should clarify the proposed design of the 6" Observation Point on 12" Tee With Caps on 6" and 12' Run Of Tee shown on Sheet 4 of the plans. The Stormwater Collector Trench Controls detail shows a 12" Cap and 12" Cap Cleanout on an elbow (113-43.J(5)).
Response: The pipe and cap details are now consistent and shown on updated Plan No. 6.
47. The length and width of the proposed cistern (45' x 9.97' wide) shown on the plans are inconsistent with the length and width of the cistern shown on Sheet S102 of the building permit plans (113-43.J(5)).
Response: The length and width of the proposed cistern and the dimensions on the plans and Permit Drawing Plan Sheet S102 are now consistent.
48. The Total Volume to be Provided by Proposed BMPs (3,097 cf) and Volume of Cistern (2,541 cf) shown in Table 1 of the PCSM Report are inconsistent with the Total Storage Volume (2,538 cf) and Cistern Structure volume (1,983 cf) shown in the "Calculation Of Stored Volume Of Stormwater" worksheet (113-43.J(5)).
Response: The total volume of the proposed BMPs are now consistent and shown in the updated PCSM stormwater report.
49. The volume in gallons of the "Trench Around the Pipe" shown in the "Calculation Of Stored Volume Of Stormwater" worksheet shall be corrected (113-43.J(5)).
Response: The volume in gallons in the "Trench Around the Pipe" has been corrected in the updated stormwater report.
50. The total storage and reuse volume in the Capture And Reuse Facilities project narrative (23,165 gallons) is inconsistent with the sum of the individual volumes of the cistern, 12" pipe, and stone lined trench in the project narrative (24,105 total gallons) (113-43.J(5)).
Response: The total storage and reuse volume in the Capture and Reuse Facilities project narrative is now consistent and contained in the updated stormwater report.
51. The invert elevation for the bottom of the cistern (514.17) and bottom of concrete (513.17) shown on Sheet S102 are incorrect (113-43.J(5)).
Response: The invert elevations are now consistent on both plans.

52. Since a PennDOT Highway Occupancy Permit is required for the proposed access drive or stormwater discharge onto the State road, the permit(s) shall be part of the SWM site plan and must be obtained prior to unconditional SWM site plan approval (113-45.C).

Response: Acknowledged. Understood. Will be included as part of the Stormwater site plan.

53. An operation and maintenance (O&M) agreement shall be provided and recorded with the final plan (113-62). Any notes on the preliminary/final plan that are inconsistent with this agreement shall be revised or removed.

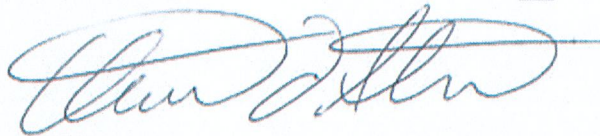
Response: A draft O&M agreement is provided herein and was also provided to the Township Solicitor for her concurrent review.

Traffic

54. The proposed development is located within the Transportation Service Area established for the Mount Joy Township Traffic Impact Fee Ordinance. Therefore, the development shall be assessed a traffic impact fee based on the number of new P.M. peak hour trips generated by the development. The number of trips shall be provided to determine the Traffic Impact Fee in accordance with Chapter 125.

Response: The maximum estimated number of P.M. peak hour trips generated by the development is 5 trips. This amount is based on a maximum of 4 employees returning/picking up a street sweeper and a single delivery truck dropping off or picking up packages.

Respectfully,
JHA Companies



Theodore D. Austin, PE
Project Leader
FOR
Max E. Stoner, PE
Senior Project Leader

cc: Scenic Ridge, Tim Good, Project Manager
Repler Investments, Richard Williams
Repler Investments, Paul Williams
Nikolaus & Hohenadel, LLP, Victoria K. Stolz, Esq.

Attachments:

- 1a Revised LD and HOP Plans
- 1b Revised Architectural Plans
- 2 Revised Stormwater Report w/Drainage Area Maps
- 3-4-5 Revised Easements with Exhibits and Descriptions
- 9 Waiver Requests (In PDF with Above Easements)
- 6, 7 Cost Breakdowns
- 8 Water and Sewer Facility Report

November 20, 2024 (*updated*)

Kim Kauffman
Township Manager
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Via email: kkauffman@mtjoytwp.org

Re: 380 Hershey Road (Repler Investments L.P.)
Preliminary/Final Land Development Plan
Township Permit No. 23-05-FLDP
LCEC Project No: 25-135



LANCASTER CIVIL
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Dear Mr. Kaufman,

We have received a preliminary/final land development plan submission from JHA Companies for the above-referenced project. The submission consisted of the following documents:

- Comment Response Letter dated November 11, 2024
- Preliminary/Final Land Development Plan revised November 11, 2024
- Architectural Plans dated November 8, 2024
- Post Construction Stormwater Management Report revised November 2024
- Additional Waiver Requests undated
- PennDOT Cost Opinion dated October 29, 2024
- Cost Opinion dated October 28, 2024
- Stormwater Management Agreement and Declaration of Easement (Draft)

Based upon my review of the submitted information, I offer the following comments for the Township to consider:

Zoning Ordinance

1. At a Zoning Hearing Board meeting on April 6, 2022, the Board granted the following:
 - a. Special Exception per Section 135-7 to establish a use (i.e. street sweeping) not specifically provided for.
 - b. Special Exception per Section 135-343.G to reduce the number of required off-street parking spaces to a total of three plus one ADA-compliant spaces.
 - c. Variance from Section 135-325.D(1) to permit a dumpster within the required 50' dumpster setback.
2. The applicant is working on easement agreement that ensures the common use of, access to, and maintenance of the existing or proposed joint-use driveway. This cross access easement shall be shown on the plans (135-321.C).

Subdivision and Land Development Ordinance

3. All certificates shall be executed prior to final plan approval (119-35.E).
4. Written notice shall be provided from the DEP that approval of the sewer planning module has been granted or notice from the Department that such approval is not required (119-35.E(2)(a) & 119-60.A).
5. A Stormwater Management Agreement and Declaration of Easement in a form acceptable to the Township Solicitor shall be executed and recorded (119-35.E(4)(c), 119-56.E & 113-62).
6. A land development agreement in a form acceptable to the Township Solicitor shall be executed (119-35.E(4)(f)).
7. Financial security in the amount of \$381,552.97 shall be provided (119-41 & 113-60).
8. At their October 28, 2024 meeting, the Township Planning Commission approved a deferral of the road improvement requirements on the condition that a deferral agreement shall also be executed and recorded in a form acceptable to the Township Solicitor. (119-52.J(3)(a) & 119-53.B(2) / 119-53.C).
9. The developer shall take all necessary action to obtain PennDOT permits and/or approvals to install the necessary improvements to the state roadway (119-52.J(3)(e) & 119-52.S(3)(m)).

10. Deeds to lots which contain clear sight triangles shall include the restriction that no structures, landscaping or grading may be constructed, installed or performed within the area of the clear sight triangle which would obscure the vision of motorists (119-52.L).
11. Sidewalks shall be provided along access drives (119-53.B(1)). The applicant has requested a waiver of this requirement.

Waiver response: Pedestrian traffic is expected to be nonexistent for the proposed development and use. In addition, there are no existing sidewalks along Hershey Road. Based on these considerations, I have no objections to a waiver of this requirement.

12. Concrete curbs shall be provided along the access drive and along the edge of any landscaped portions of a the parking facility (119-53.C(1)). The applicant has requested a waiver of this requirement.

Waiver response: Curbing is not required for capturing stormwater runoff. Minimal pedestrian traffic is anticipated for the proposed development. In addition, there are no existing curbs along Hershey Road. Based on these considerations, I have no objections to a waiver of this requirement.

13. A minimum 30 foot wide access easement shall be provided for the stormwater facilities (119-56.D, 119-56.E & 113-31.Q). The applicant has requested a waiver of this requirement.

Waiver response: There is an existing drainage swale along the rear of the property that will be bordered by a landscaping screen, which does not leave adequate space for a 30 foot wide easement in this location. A 15 foot easement will provide adequate space for maintenance of the existing drainage swale; therefore, I have no objections to a waiver of this requirement provided that a 30' wide easement is provided up to the existing swale. The waiver requests and plans shall also be revised to reference the correct ordinance sections.

14. Any action taken on waiver requests, dates, and any conditions of approval shall be added to the cover sheet (119-91.C).

Stormwater Management Ordinance

15. Design information, including calculations, shall be provided for the compost filter socks (113-31.E & 113-43.K).
16. The Watershed Model Schematic shown in the PCSM Report does not match the hydrographs within the schematic legend, nor does it match the analysis shown in the following hydrograph reports (113-33).
17. The hydrograph analysis appears to improperly double count the volume within the cistern and trench by first routing the captured hydrograph (Hyd. No. 3) and then diverting the routed hydrograph (Hyd. No. 4). This results in the cistern and trench first being filled by the volume from Hyd. No. 3 and then immediately being used to capture the first 3,097 cf of volume from the outflow (Hyd. No. 4), even though the cistern and trench are now partially (and sometimes entirely) full from routing Hyd. No. 3 (113-33),
18. Calculations shall be provided to confirm the incremental storage values used in the Pond Report (113-35.F), The values shown currently do not appear to accurately reflect the storage volume available within the cistern, pipes and trench.
19. The calculated pre-development time of concentration (12.81 minutes) is inconsistent with the time of concentration used in the pre-development rate control calculation (9.66 minutes for Hyd. No. 1) (113-35.H).
20. The surface description and segment lengths for the predevelopment time of concentration are inconsistent with the flow path shown on the pre-development drainage area map. Justification shall be provided for using a length of only 12.35 feet for the sheet flow (113-35.H).
21. A trench detail specifying the required pipe backfill material shall be provided (113-37.C(3)(a)).
22. The “amount of storage to be pumped out each day” shown on the “Calculation of Stored Volume of Stormwater” worksheet shall be based upon the volume of water within the cistern, the trench and the pipes (23,165 gallons), not just the volume within the cistern (19,010 gallons) (113-38.B(2)). The narrative shall clearly state whether a minimum of 5% of the total storage volume will be used on a daily basis.
23. The landowner shall execute the final documents prior to final plan approval (113-41.B).
24. The post-development drainage area boundaries for the bypass drainage area to the southeast of the proposed building is not consistent with the proposed grading and spot elevations (113-43.J(1)).
25. The plans show a proposed 6” Observation Point with a 12” *tee* while the Stormwater Collector Trench Controls detail shows a 12” *elbow* (113-43.J(5)).
26. The depth of the proposed cistern (7.5’) shown on the plans are inconsistent with the depth shown on Sheet S102 of the building permit plans (8.17’) (113-43.J(5)).
27. To avoid confusion, the top of the inlet (elev. 522.75) shall be shown at a higher elevation than the top of the stone trench (521.10) in the “Stormwater Collector Trench Controls” detail (113-43.J(5)).
28. Since the depth of the trench is now a constant 3.10 feet, the “depth varies” label in the “Stormwater Collector Trench Controls” detail shall be revised (113-43.J(5)).

29. The "Proposed 12" Perforated HDPE Pipe in 3' x 3' Stone Lined Trench" label on the plans shall be revised to reflect the 3.10' depth of the trench (113-43.J(5)).
30. Since a PennDOT Highway Occupancy Permit is required for the proposed access drive or stormwater discharge onto the State road, the permit(s) shall be part of the SWM site plan and must be obtained prior to unconditional SWM site plan approval (113-45.C).
31. An operation and maintenance (O&M) agreement shall be provided and recorded with the final plan (113-62). Any notes on the preliminary/final plan that are inconsistent with this agreement shall be revised or removed.

Traffic

32. The proposed development is located within the Transportation Service Area established for the Mount Joy Township Traffic Impact Fee Ordinance. Therefore, the development shall be assessed a traffic impact fee based on the number of new P.M. peak hour trips generated by the development. The number of trips shall be provided to determine the Traffic Impact Fee in accordance with Chapter 125. The applicant shall use the latest edition of the Trip Generation Manual published by the Institute of Transportation Engineers to determine the number of P.M. peak-hour trips (125-6.A & Appendix B).

If you should have any questions or need additional information, please do not hesitate to contact me at bencraddock@lancastercivil.com or via telephone at 717-799-8599.

Sincerely,



Benjamin S. Craddock, PE, President

LANCASTER CIVIL

cc: Justin Evans, Township Community Development Director/Zoning Officer
Patricia Bailey, Township Secretary (via email)
Josele Cleary, Esquire, Township Solicitor (via email)
Del Becker, PE, EAWA (via email)
Nick Viscome, ERSA (via email)
Abraham King, RETTEW (via email)
Renee Addleman, Planner, LCPC (via email)
Theodore Austin, PE JHA Companies (via email)
Carol Kulp, JHA Companies (via email)
Max Stoner, PE, JHA Companies (via email)
Timothy Good, Scenic Ridge (via email)

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OF COUNSEL

WILLIAM C. CROSSWELL
RANDALL K. MILLER

September 27, 2024

VIA EMAIL

Justin S. Evans, AICP, Community
Development Director/Zoning Officer
Mount Joy Township
8853 Elizabethtown Road
Elizabethtown, PA 17022

Re: Preliminary/Final Land Development Plan for Repler Investments, LP
Our File No. 10221-1

Dear Justin:

I received the resubmission of the Preliminary/Final Land Development Plan for Repler Investments, LP (the "Plan") with a draft Storm Water Management Agreement and Declaration of Easement, draft Shared Driveway Easement and Maintenance Agreement, and document entitled Drainage and Access Easement by which landowner Repler Investments, LP ("Repler") grants the Township a drainage easement for the storm water management facilities. This letter will set forth comments on the Plan and the draft documents.

The Plan contains a note stating that the Zoning Hearing Board granted variances on April 6, 2022. The Plan does not contain any conditions imposed on the granting of those variances. I specifically addressed this issue in my review of the Final Land Development/Storm Water Management Plan for Repler Investments LP in my letter dated April 12, 2023. I attach a copy of that letter for your convenience. The note on Page 2 of that letter should be included on the cover sheet of the Plan.

The Storm Water Management Agreement is not acceptable. It appears to be the Township's form Storm Water Management Agreement with minimal information, such as Repler's name and address, inserted. The blanks in the first paragraph of Background for the name, date, etc. of the subdivision or land development plan are left blank but highlighted. Paragraph 2 relating to operations and maintenance procedures has no information inserted. Instead, there are a series of comments, two of which state "We would enter any specific maintenance requirements from the Plan that are unique to this Plan" and another comment indicating "These should only be included if they are applicable to the Plan". This is not acceptable.

The Plan indicates storm water management through piping water from downspouts into a cistern as well as perforated collector pipe and a stone trench. The Post-Construction Stormwater Management Plan contains some operation and maintenance requirements as well as the use of the water to be collected in the cistern. Sheet 6 of the Plan contains some, but not all, of the operations and maintenance procedures under the heading Post-Construction Stormwater Management Plan. By way of example, the report states that catch basins, inlets, and piping contributing flow to the perforated collector pipe, trench and cistern should be inspected and cleaned twice per year, and Sheet 6 of the Plan states that inspections are to be made once every three months and after a “severe storm event”. The report states that vehicles shall not be driven over the trench and care should be taken to avoid excess compaction by mowers, and that information is not on the Plan. The design engineer should prepare an exhibit, containing detailed operations and maintenance requirements, for the review and approval of the Township Engineer. This operations and maintenance procedure should be attached as Exhibit A to the Storm Water Management Agreement.

The signature line and acknowledgment for Repler must be corrected on the Storm Water Management Agreement. The signature lines indicates “(Name) (Title)”.

The Township does not assume ownership of storm water management facilities. Paragraph 5 of the Storm Water Management Agreement gives the Township the right to enter on the subject property to inspect storm water management facilities. The Storm Water Management Ordinance requires that easements be provided around the storm water management facilities shown on a subdivision, land development, or storm water management plan. The Drainage and Access Easement is unnecessary and inconsistent with portions of the Storm Water Management Agreement.

The Shared Driveway Easement and Maintenance Agreement is unacceptable. The Office of the Recorder of Deeds requires that all documents to be recorded include the municipality, county, and Commonwealth in which land is located. The background provision of this document states that all of the properties at issue are located in “Elizabethtown, Lancaster County, Pennsylvania.” This is incorrect. All of the properties are located within Mount Joy Township.


All of the acknowledgments to the Shared Driveway Easement and Maintenance Agreement are dated 2023 and must be corrected. The substance of the Shared Driveway Easement and Maintenance Agreement is acceptable for the limited purposes for which I have reviewed it on behalf of the Township.

I did review the website of the Office of the Recorder of Deeds. There do not appear to be any mortgages against the Repler property, so no Joinder by Mortgagee will be necessary for the Storm Water Management Agreement.

Justin S. Evans, AICP, Community Development Director/Zoning Officer
September 27, 2024
Page 3

If you have any questions concerning any of these comments, please contact me. I will need to see a revised draft of the Storm Water Management Agreement.

Very truly yours,



Josele Cleary

JC:sle
MUNI\10221-1\240923\71

Attachment

cc: Kimberly Kaufman, Township Manager (via email; with attachment)
Patricia J. Bailey, Secretary (via email; with attachment)
Benjamin S. Craddock, P.E. (via email; with attachment)
Theodore D. Austin, P.E. (via email; with attachment)

**PROPOSED MOTION FOR THE PRELIMINARY/FINAL LAND DEVELOPMENT
PLAN
FOR REPLER INVESTMENTS LP.
M.J.T.P.C. File # 23-05-FLDP**

I move that the Township Planning Commission grant waivers of Chapter 119 of the Code of Ordinances of the Township of Mount Joy, i.e. the Mount Joy Township Subdivision and Land Development Ordinance as follows:

- a) §119-53.B – sidewalks along access drives
- b) §119-53.C(1) – concrete curbs along access drives and landscaped areas of parking facilities
- c) §119-56.D, §119-56.D, & §113-31.Q – access easement width for stormwater facilities

And having granted such waivers, grant approval of the Preliminary/Final Land Development Plan for Repler Investments LP. (the “Plan”) prepared by JHA Companies, Inc., Drawing No. CS-1, dated February 2, 2023, subject to the following conditions:

1. To the extent not otherwise provided in these conditions, Applicant shall address the comments of the Township Engineer’s review letter dated November 20, 2024.
2. To the extent not otherwise provided in these conditions, Applicant shall address the comments of the Township Solicitor’s review letter dated September 27, 2024.
3. Applicant shall address and comply with all conditions contained in the Mount Joy Township Zoning Hearing Board (MJTZHB) decision dated April 12, 2022 for Case #220005. The conditions of approval shall be provided on the Plan cover sheet.
4. Applicant shall submit a fully executed Storm Water Management Agreement and Declaration of Easement, which shall be acceptable to the Township Solicitor and in recordable form. The Agreement, fully executed, shall be submitted and approved prior to the release of the final plan for recording.
5. Applicant shall submit a fully executed Deferred Road Improvement Agreement, which shall be acceptable to the Township Solicitor and in recordable form. The Agreement shall include, but not necessarily limited to, provisions for pavement widening, concrete curb, and concrete sidewalk. The Agreement, fully executed, shall be submitted and approved prior to the release of the final plan for recording.
6. Applicant shall submit a fully executed Shared Driveway Easement and Maintenance Agreement, which shall be acceptable to the Township Solicitor and in recordable form. The Agreement, fully executed, shall be submitted and approved prior to the release of the final plan for recording.
7. Applicant shall submit a copy of the required Highway Occupancy Permit as issued by the Pennsylvania Department of Transportation prior to the release of the final plan for recording.
8. Applicant shall provide written notice from the Pennsylvania Department of Environmental Protection that approval of the sewer planning module has been granted or notice from the Department that such approval is not required.

9. Applicant shall pay Mount Joy Township a fee-in-lieu of having to prepare and submit a traffic impact study at a rate of \$1.50 per square foot of usable building floor area. Said payment shall occur prior to the release of the final plan for recording.
10. Applicant shall pay Mount Joy Township traffic impact fees, as required by Chapter 125 of the Code of Ordinances of the Township of Mount Joy at the rate of \$1,766 per net P.M. peak hour trip unless determined to be a de minimus application as defined in Chapter 125. Payment of the traffic impact fees shall be made at the time an application is made for the required building permit. Applicant shall not at any time in the future seek return of such impact fees, or any earned accrued interest thereon, or authorize any successor to make such claim, whether or not the Township expends the traffic impact fees within the time limitations set forth in Act 209 of 1990, as amended, 53 P.S. §10501-A, et seq., expends the traffic impact fees for improvements set forth in the Transportation Capital Improvements Plan or for other road improvements not addressed in the Transportation Capital Improvements Plan or for road improvements to address existing deficiencies or for improvements (regardless of the percentage of the cost of improvements or the amount of the improvements paid for with traffic impact fees) to state highways. Applicant shall place a note on the final plan referencing this condition.
11. Applicant shall submit a fully executed Land Development Agreement, which shall be acceptable to the Township Solicitor. Said Agreement shall be submitted and approved prior to the release of the final plan for recording.
12. Applicant shall submit financial security to guarantee the proper installation of all improvements associated with this land development project prior to the release of the final plan for recording and shall be in a form acceptable to the Township Solicitor. The amount of said financial security shall be in the amount consistent with the construction cost opinion approved by the Township Engineer.
13. Applicant shall apply for and obtain all necessary permits prior to commencing any construction activities.
14. Applicant shall reimburse the Township for all reasonable engineering and legal fees incurred in the review of plans under the Subdivision and Land Development Ordinance, Storm Water Management Ordinance, and other governing ordinances; review or preparation of documentation required in connection with the development; review and approval of financial security and other documentation; inspection of improvements; and for other costs as set forth in these Conditions within 30 days after receipt of an invoice for such fees. If Applicant fails to pay such costs within 30 days after the date of a written invoice for such costs, Applicant shall be in violation of this Condition.

**ACCEPTANCE OF CONDITIONS UPON APPROVAL OF A
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
IMPOSED BY THE PLANNING COMMISSION OF MOUNT JOY TOWNSHIP
FOR**

**REPLER INVESTMENTS LP.
M.J.T.P.C. File # 23-05-FLDP**

I have reviewed the conditions imposed by the Planning Commission of Mount Joy Township, Lancaster County, Pennsylvania, at the meeting on November 25, 2024, upon the approval of the Preliminary/Final Land Development Plan for Repler Investments LP. (the "Plan") prepared by JHA Companies, Inc., Drawing No. CS-1, dated February 2, 2023. In my capacity as developer/developer's agent and being authorized to do so, and intending to be legally bound, I hereby accept the imposition of the conditions attached hereto as part of the approval of the above-described subdivision and/or land development project. I expressly waive any requirements of the Pennsylvania Municipalities Planning Code that the Township provide a section number of a governing ordinance, statute or regulation upon which such conditions are based and a description of the requirements which have not been met. To the extent that any condition is not based upon a specific requirement of a governing ordinance, statute or regulation, I expressly waive any right which I may have to challenge the imposition of such condition. If signing as developer's agent, I expressly state that I have been authorized by developer to agree to the conditions imposed upon the approval of the above-described subdivision and/or land development application.

Date: _____

Signature

Printed Name

Title